

THE STAMP OF APPROVAL: NATIONAL REGISTER ELIGIBILITY OF THOUSAND
SERIES POST OFFICES IN KANSAS

by

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(Under the Direction of Cari Goetcheus)

ABSTRACT

This thesis explores National Register of Historic Places eligibility for Thousand Series postal facilities constructed in the state of Kansas between 1950 and 2000. Between 1950 and 1970 the United States saw an unprecedented proliferation of postal construction termed by architectural historians as the ‘Thousand Series.’ The Thousand Series is an umbrella term for a modernist architectural type and style of postal construction. Modernist lease-purchased post offices were constructed throughout the nation with standard designs. Other historic contexts on National Register post office eligibility found that Thousand Series is made up of six different subtypes, each specializing in one part of the mail delivery process. The Thousand Series was intended to speed up mail delivery and eliminate postal backlogs which had previously plagued the nation. Modernist postal facilities are of age for National Register evaluation, and thesis argues this period of prolific postal construction is eligible for the National Register of Historic Places.

INDEX WORDS: United States Postal Service, Postal History, National Register of Historic Places, Kansas, Architectural History, Modernist Architecture, Lease-Purchase, Combined Post Office and Federal Building, Main Post Office, Process and Distribution Center, Thousand Series, Post-War Post Offices

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DEDICATION

Messenger of Sympathy and Love

Servant of Parted Friends

Consoler of the Lonely

Bond of the Scattered Family

Enlarger of the Common Life

Carrier of News and Knowledge

Instrument of Trade and Industry

Promotor of Mutual Acquaintance

Of Peace and of Goodwill Among Men and Nations.

“The Letter”

-Dr. Charles W. Eliot

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CHAPTER 1

INTRODUCTION

My interest in post offices prior to the start of this research was limited to elaborate Richardsonian Romanesque, Beaux-Arts, and New Deal Modernist architecture. However, as I started exchanging postcards via a website called Postcrossing I quickly became fascinated with all things related to the United States Postal Service (USPS). I cannot say that I had a deeply profound interest in modernist post offices and most certainly did not know they had their own academic type and style.

Needless to say, the design-built post offices in the modernist architectural style are a dramatic contrast to the more elaborate high-style post offices I initially understood. I found myself questioning how and why post office architecture changed so dramatically in the span of 20 to 30 years and stumbled on some discussion of the architectural significance modernist post offices might have.

As I began to research the topic of federal preservation of post offices, I was aware that the federal preservation initiative in the United States started in the early 1960s as a reaction to post-World War II suburbanization and urban renewal.¹ As well as other early federal laws that protect historic sites like the Antiquities Act of 1906 which created strict penalties for the destruction of federal property. The Antiquities Act allowed the president to establish historic landmarks for "...historic and prehistoric structures, and other objects of historic or scientific

¹ National Park Service, "Historic Preservation: National Historic Preservation Act", November 1, 2023, <https://www.nps.gov/subjects/historicpreservation/national-historic-preservation-act.htm>.

interest...”.² This legislation was the first time the federal government used its power to protect historic sites. However, the Antiquities Act only allowed the designation of a historic landmark if the federal government owned the property. The Historic Sites Act of 1935 authorized the Secretary of the Interior to create a list and survey properties around the nation that may be of national significance. The Historic Sites Act was largely unsuccessful as there was no funding mechanism for the survey or designation of historic properties. Both the Antiquities Act and the Historic Sites Act are important as they mark the federal government’s official intervention in preservation which had previously been a private enterprise. Unfortunately, neither act was particularly influential in safeguarding the nation’s *national* heritage.

By the 1950s, there was an interest in new architectural styles combined with mass suburbanization and an increased number of infrastructure projects related to interstate highway development. The modernization of the United States’ car-related infrastructure endangered much of the nation’s historic fabric. However, modernization efforts did not stop at the automobile. The government initiated “slum clearance” to stimulate the economy and meet rising housing needs. However, the practice of demolishing “blighted” neighborhoods for new modern developments was highly racialized and led to the destruction of irreplaceable historic structures.³ As a result of the controversy surrounding urban renewal, The U.S. Conference of Mayors and the National Trust for Historic Preservation published *With Heritage So Rich*, which illustrated the architectural heritage that had been destroyed to create modern developments. *With Heritage So Rich* called upon the federal government to take a larger role in the

² National Park Service, “Antiquities Act of 1906”, February 10, 2025, <https://www.nps.gov/subjects/archeology/antiquities-act.htm>.

³ Norman Tyler, Ted Ligibel, Ilene Tyler, *Historic Preservation: An Introduction to its History, Principles, and Practice* (New York: W.W. Norton & Company, 2009), 44.

preservation of the nation's heritage, which ultimately led to the National Historic Preservation Act.

The National Historic Preservation Act (NHPA) was passed by the United States government in 1966 after President Lyndon B. Johnson formed a special committee that provided an impassioned plea to Congress to pass a legally enforceable preservation bill. The act lays out a series of preservation mechanisms that the federal government is required to follow and incentivized preservation initiatives, via monetary aid, at the state and local level but did not require them. Beyond my understanding of federal preservation, I wanted to learn more about the 'modernist' architecture of post offices and learned of the Thousand Series Post Office.

The Thousand Series Post Office refers to a specific architectural type and associated style popularized by the USPS in the latter half of the 20th century.⁴ The 'Thousand Series' is a term describing both the type and style of postal architecture from the mid-1950s-1971 established by the cultural resource management firm the URS Group in 2012. The Thousand Series might be in reference to the thousands of postal facilities constructed during this period but there is no direct explanation from the URS Group for this name. Although it is not understood how the term came to be – in this thesis I will be using the term 'Thousand Series' to refer to facilities constructed during this period. In fact, many of the subtype-specific names used to refer to modernist postal facilities are not the classification of postal facilities currently in use by the USPS. However, the URS subtype definitions are helpful in the classification of postal facilities from this period as they describe the postal facilities' function as compared to current

⁴ Generally speaking, an architectural type refers to the plan and layout of a building whereas architectural style refers to the applied ornamentation on the exterior of the building façade. Type and style often correlate to a specific period of construction in the United States.

USPS postal facility classification, where the original use of the postal facility might not reflect its current use.

Thousand Series post offices all have similar architectural characteristics which emphasize efficiency and clean lines and use newer and cheaper modern building materials typical in the modernist or International Style architectural design style.

The Thousand Series post office was needed due to the rapidly changing demographics of the United States during the 1960s. John Tess, President at Heritage Consulting Group in Oregon, notes that “These buildings were intended to be the backbone of the new framework for mail delivery. It was no longer necessary or appropriate [of post offices] to be a symbolic representation of the federal government; for that reason, designs were held to a minimum.”⁵ The Thousand Series is unlike any other period of postal construction whose architecture emphasized the role of the federal government, instead, these post offices were created with the singular goal of increasing the efficiency of the postal service. Tess continues noting that most business at post offices were retail service transactions and therefore “...more and smaller buildings were better than more central and larger; these were then complemented by the larger and fewer distribution centers. By building smaller, the post office would respond relative to changing demographic patterns, to suburbanization.”⁶ This period of postal construction saw an overhaul of how the Postal Service operated at a foundational level. The Thousand Series allowed the post office to serve its mission of delivering the mail more efficiently.

As I learned about the Thousand Series Post offices, I also became aware of other resources about the preservation of post offices. The U.S. Department of the Interior and the

⁵ United States Department of the Interior, National Park Service, January 31, 2017, “U.S. Post Office Department Facilities in Oregon, 1940 to 1971” prepared by John M. Tess, Oregon State Historic Preservation Office, 9.

⁶ Tess, “U.S. Post Office Department Facilities in Oregon, 1940 to 1971”, 9.

cultural resources branch of the National Park Service release preservation briefs on commonly asked preservation questions. In 1984, *National Register Bulletin 13: How to Apply the National Register Criteria to Post Offices* (Bulletin 13) was published. The bulletin is specific to nominating post offices constructed prior to 1939. This bulletin led to numerous statewide historic contexts of the historic significance of New Deal post offices, including a multiple property documentation form (MPDF) titled, *Kansas Post Offices with Artwork, 1936-1942*, published in 1988. Although these documents provide a framework for post office designation, they are outdated with Bulletin 13 last being updated in 1994.

In 2014 the Advisory Council on Historic Preservation (ACHP) published a report titled “Preserving Historic Post Offices: A Report to Congress”.⁷ The report found that the United States Postal Service was disposing of its historic resources in a manner that did not comply with what was specified in the NHPA. At the time the USPS was closing and selling many of its historic resources because of a downsizing initiative intended to cut costs.⁸ The former chairman of the ACHP notes:

The USPS has disposed of post offices throughout its history. However, the rate of disposals began to increase in 2008 as declining mail volumes along with increased automation and worker productivity led to a determination by the USPS that many facilities are larger than operations require. Given the number of historic properties in the USPS real property inventory, it is inevitable that historic post offices and facilities would be among the properties considered for disposal.⁹

The ACHP’s report was not commissioned by Congress because of the disposal of historic properties but instead, because the USPS was not conducting their disposals responsibly. During

⁷ The ACHP was created as an independent federal agency in the NHPA Act of 1966. The ACHP’s mission is to promote federal preservation initiatives and advise Congress on matters of historic preservation.

⁸ A potentially historic resource is any building, structure, site, or object more than 50 years of age that may be eligible for the National Register of Historic Places.

⁹ Advisory Council on Historic Preservation, “Preserving Historic Post Offices: A Report to Congress”, June 21, 2018, https://www.achp.gov/sites/default/files/documents/2018-06/04002014_Preserving%20Historic%20Post%20Officesreport.pdf, 3.

this period, some irreplaceable artworks were destroyed, and many historic post offices fell into a state of disrepair. As a mitigation strategy, the ACHP recommended the USPS create a streamlined process for determining which post offices would be potentially eligible for the National Register of Historic Places.

In 2012 the USPS contracted the URS group, a cultural resource management firm, to create a national historic context for postal facilities constructed or occupied between 1940-1971. The context was intended to provide guidance on determining post office eligibility for the National Register of Historic Places and prevent the further destruction and deterioration of postal facilities. After reviewing its content, I found that it focused its context on nominating post offices at the local level but would require a state-wide survey to determine the State level of significance to the National Register. However, its nomination at the local level did not do a thorough job of providing character-defining features or go in-depth on which criteria a post office might be considered eligible under at the local level. The gaps in some of these findings led me to question what criteria are necessary for the nomination of Thousand Series Post Offices buildings, which then led me to develop a series of more targeted questions that became the basis of this research. They included questions such as

- What are the character-defining features of Thousand Series Post Offices?
- What is the period of significance for Thousand Series Post Offices? Are there distinct building phases whose types and styles differ or are post offices of the 1980s and 1990s different due to the modernization of construction materials and techniques?
- What are the National Register criteria for state-level and local-level significance of Thousand Series Post Offices?
- What are the nuances of aspects of integrity for state or locally significant Thousand Series Post Offices?

This thesis argues that despite the Thousand Series form being widely reproduced across the United States in the mid to late 20th Century it is both historically and architecturally significant^t qualifying it for listing on the National Register of Historic Places at both the state and local level.

Inclusions and Exclusions

The scope of this thesis includes post offices constructed in the state of Kansas between 1950 and 2000. The study is specific to post office facilities open to the public. The Thousand Series saw a proliferation of non-public postal facilities due to the increase of mechanization. This study is also only concerned with post offices potentially eligible for the National Register of Historic Places at the state or local level. The URS Group's context study found that there were no Thousand Series Post Offices potentially eligible at the national level, and the scope of national-level significance is too large to address in this study.

Methodology

The overall methodology used to answer my research questions began with background research on many related topics including the broad overview of federal preservation, the role of The National Register of Historic Places in preservation, the history of the post office as an American institution, and specific research about why post offices should be preserved via the National Register. I researched these topics via books and journal articles, tax assessor's data, the Eisenhower Presidential Library, the USPS Corporate Library, and other historic contexts and National Register nominations. Primary and secondary research was necessary to understand the history of the USPS and the role the National Register plays in preservation whereas case studies

were used to collect data and determine if the Thousand Series is eligible for the National Register.

Further information of the methodology used for the selection of post offices and the survey criteria can be found in Chapter 3: Case Study Methodology. Case studies are a widely accepted research method in many academic fields, including preservation and landscape architecture. I chose to evaluate Thousand Series post offices in the state of Kansas because it was clear there needed to be a statewide survey, per the URS context study, and I chose the state of Kansas as it is a state I am familiar with and had the potential to confirm some of the URS Group's theories.

This thesis will be organized Chapter 2: Background Research which explores the history of the post office as an American institution, briefly describes the National Register of Historic Places, and evaluates other literature about the Thousand Series. Chapter 3: Case Study Methodology, Selection, and Descriptions of Sites, is specific to the selection criteria and survey methodology used. Chapter 4: Summary of Findings determines the Thousand Series character-defining features, National Register significance criteria, and period of significance. Finally, Chapter 5: Conclusions discusses the application of this research and suggests further areas of research.

CHAPTER 2

BACKGROUND RESEARCH

The United States Post Office Department saw exponential expansion in mail volume and postal facility construction from 1775 to 2000 with booms during the Great Depression and the 1960s. An understanding of the historic trends in postal policy is necessary to evaluate if the Thousand Series period of construction is worthy of preservation. To determine if something is worth preserving, this chapter will first discuss how and why we preserve things. After briefly describing how the National Register of Historic Places strives to preserve historically significant structures, like post offices, there will be an analysis of the two historic context studies that have tried to provide technical guidance on the nomination of Thousand Series post offices to the National Register. Finally, there will be a discussion on how the history of the post office, National Register process, and benefits and drawback of other historic contexts help answer many of the proposed research questions.

United States Postal History

Creation of the Post Office to WWII

On July 26, 1775, a year before the colonies would declare independence from Great Britain, the founding fathers established The Post Office Department. Now known as The United States Postal Service (USPS), the post office department is the oldest federal department in the United States. The post office as an American institution was created because “The Founding

Fathers believed that to succeed, a democratic form of government depended upon the free exchange of news, ideas, and opinions.”¹⁰ Though the United States of America has dramatically changed since 1775 the Postal Service has continuously served its mission of providing “...postal services to bind the Nation together through...correspondence of the people. It shall provide prompt, reliable, and efficient services to patrons in all areas and shall render postal services to all communities.”¹¹ The Post Office dramatically expanded when the Constitution gave Congress the power “To establish Post Offices and Post Roads.”¹²

With the post office overseeing mail delivery by any means necessary the postal service has subsidized the development of almost every major form of transportation, including rail and aviation. Perhaps the most iconic piece of postal history relates to early postal delivery via the Pony Express. The Pony Express transported mail from St. Joseph, Missouri to California via stagecoach. The stagecoaches traveled year-long through the wild frontiers of the American West, delivering mail in around ten days.¹³ Not long after the Pony Express, the Post Office Department was tasked with figuring out how to effectively deliver mail to rural America. More than 65% of the American population lived in a rural area in 1890 and had to travel to the nearest town to pick up their mail even though their urban counterparts had benefited from free mail delivery since 1863.¹⁴ In 1896 Rural Free Delivery (RFD) was created and by 1902 was a permanent service.¹⁵ The mail was now being delivered to rural areas via automobile as

¹⁰ United States Postal Service, *The United States Postal Service: An American History* (United States Postal Service, 2022), 1.

¹¹ U.S. Congress, United States Code: Miscellaneous Provisions Relating to the Postal Service, 39 U.S.C §§805-831, 1960, <https://www.loc.gov/item/uscode.uscode1925-007039022/>.

¹² United States Postal Service, *The United States Postal Service*, 4.

¹³ United States Postal Service, *The United States Postal Service*, 16.

¹⁴ United States Postal Service, *The United States Postal Service*, 30.

¹⁵ United States Postal Service, *The United States Postal Service*, 30.

compared to the urban delivery system where postmen walked to each house decidedly marking the great strides in technological innovation in the mail delivery process.

As the Postal Service was rapidly expanding to meet the needs of the nation it was completely at the discretionary whim of the United States Congress (1775-1952). Congress gave the postal service a monopoly in an effort to make the post largely self-sufficient. However, Congress still set budgets, salaries, and allotted funding for the creation of new postal routes and post offices.¹⁶ The Postmaster General, appointed by the President of the United States is officially in charge of the day-to-day operations of the postal service, and had little say in the funding, placement, or design of post offices. Though Congress allotted budgets for construction, the United States Treasury Department was responsible for the design, construction, and standardization of post offices.¹⁷ The first Omnibus Public Buildings Act passed by Congress in 1902 dramatically increased the number of all federal buildings approved for construction at one time as compared to passing individual funding bills for each project.¹⁸ The Omnibus Public Buildings Act meant not every post office needed to be individually approved speeding up the bureaucratic process and allowing a proliferation of all federal buildings-including postal facilities.

Post offices of the early 20th Century were “...designed to express classical and democratic ideals and symbolize power, organization, and institutionalization.”¹⁹ Historically, post offices were designed individually, however, Congress became concerned with the price of

¹⁶ United States Postal Service, *The United States Postal Service*, 11, 60.

¹⁷ National Park Service, “Federal Courthouses and Post Offices: Symbols of Pride and Permanence in American Communities (Teaching with Historic Places), December 27, 2023, <https://home.nps.gov/articles/federal-courthouses-and-post-offices-symbols-of-pride-and-permanence-in-american-communities-teaching-with-historic-places.htm#:~:text=From%201852%2D1939%2C%20the%20Office,needed%20by%20the%20federal%20government.>

¹⁸ United States Postal Service, “History of Post Office Construction: 1900-1940” (United States Postal Service, 1982), 4.

¹⁹ Lois Craig, *The Federal Presence: Architecture, Politics, and National Design*, (MIT Press, 1984), 47.

government construction. Federal building projects cost much more than the commercial buildings of the period. Supervising Architect of the Treasury Department, James Knox Taylor (1897-1912), argued post offices should be unique in design and material as they were “federal presents” to the American people.²⁰ The small individually designed post offices constructed under Taylor were reviewed in the professional architectural journal *The Architect* as being “...the most important of local buildings, and taken together, seen daily by thousands, who have little opportunity to feel the influence of the great architectural works in the large cities.”²¹ Whereas commercial buildings were becoming increasingly standardized which dictated materials and design. Taylor noted that federal buildings must be built to withstand the test of time so quality of materials and construction would be more expensive as compared to streamlined commercial design.²²

Per a report by the Public Buildings Commission of Congress in 1914, chaired by the Secretary of the Treasury, it was stated that post offices were only to be built in communities whose postal receipts totaled more than \$10,000 and the post offices constructed were to be of a standardized design.²³ There were four classes of post office ranging from A to D; the classification was solely based on the amount of money the post office made in a year. The classification system regulated what materials could be used by each class of post office.²⁴

²⁰ United States Postal Service, “History of Post Office Construction: 1900-1940”, 6.

²¹ United States Postal Service, “History of Post Office Construction: 1900-1940”, 7.

²² United States Postal Service, “History of Post Office Construction: 1900-1940”, 6.

²³ United States Postal Service, “History of Post Office Construction: 1900-1940”, 7.

²⁴ United States Postal Service, “History of Post Office Construction: 1900-1940”, 9-10.

Table 1: Breakdown of 1914 Post Office Classes with yearly postal receipts, level of fireproofing, and principal construction material (Haylee Rose, 2025).

<i>Post Office Class</i>	<i>Yearly Postal Receipts</i>	<i>Fireproof</i>	<i>Principal Material</i>
Class A	\$800,000	Completely Fireproof	Marble/Granite
Class B	\$60,000-\$800,000	Completely fireproof	Limestone/Sandstone
Class C	\$15,000-\$60,000	Partially Fireproof	Brick
Class D	Less than \$15,000	First Floor Fireproof	Brick

By 1916, the days of architecturally unique post offices were over. A singular post office building design had been used in more than 30 communities. Although standardization was the priority, post offices were still built to reflect high style Beaux-Arts architecture via their massing and plan even if exterior ornamentation was kept to a minimum.²⁵

Post Office construction came to a complete halt once the United States officially entered World War I and would not start again until the implementation of the New Deal circa 1933. The book *Public Buildings: Architecture Under the Public Works Administration 1933-1939* provides plans and photographs of exceptional buildings constructed by the PWA. A section of this book is dedicated to post office construction. The book does not provide examples for all four classes of post office, nor does it explain the standardization of floor plans, but illustrates the distinction in treatment between Classes A, B, and C, with their respective plans included below a short narrative description of the physical implementation of the classification system.

An example from that book for the Class A post office is in Madison Square New York,

²⁵ United States Postal Service, “History of Post Office Construction: 1900-1940”, 11.

New York and has a postal receipt of \$5,000,000 yearly.²⁶ The exterior façade is clad in colored granite with incised letters filled with gold leaf and the entire post office is fireproof. The Class B post office example, also located in New York, is ‘Station X’ which has a yearly postal receipt of \$300,000. The post office is multiple stories with a decorative terrazzo floor, marble wainscot, and plaster walls.²⁷ The exterior is a red brick with granite and limestone decoration and the entire building is fireproof. The example for Class C located in Newport, New Hampshire does not have a sum for yearly postal receipts. However, the description notes that the post office is fireproof except for the plank roof which follows the design guidelines for a Class C post office. Furthermore, the post office is clad in red brick with cast stone accents.²⁸

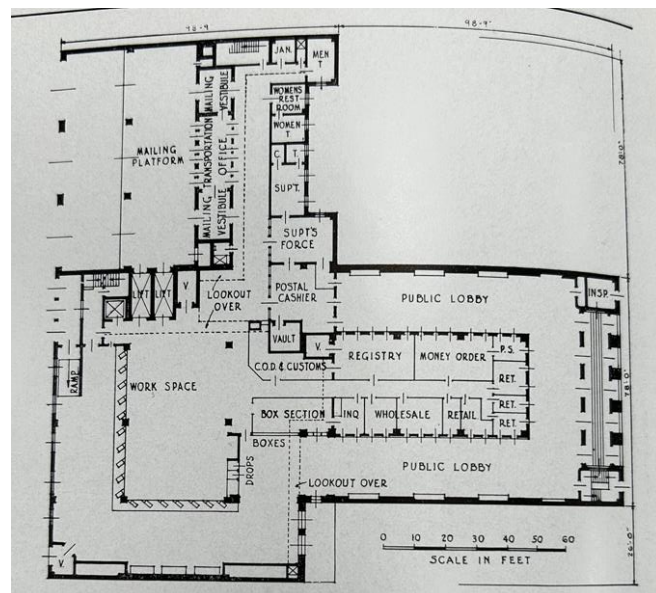
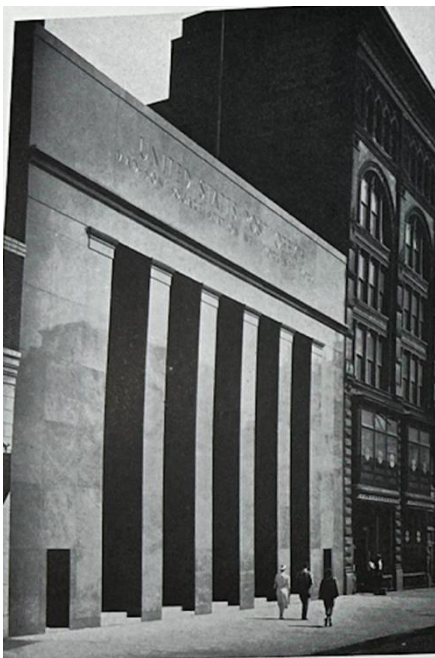


Figure 1: Example of a Class A post office plan in Madison Square New York, New York. (Public Buildings: Architecture Under the Public Work Administration 1933-1039, 1939 – p. 582)

²⁶ C.W. Short and R. Stanley Brown, *Public Buildings: A Survey of Architecture of Projects Constructed by Federal and Other Governmental Bodies between the years 1933-1939 with the Assistance of the Public Works Administration*, (United States Government Printing Office, 1939), 582.

²⁷ Short and Brown, *Public Buildings: A Survey of Architecture Constructed by the Public Works Administration*, 583.

²⁸ Short and Brown. *Public Buildings: A Survey of Architecture Constructed by the Public Works Administration*, 579.

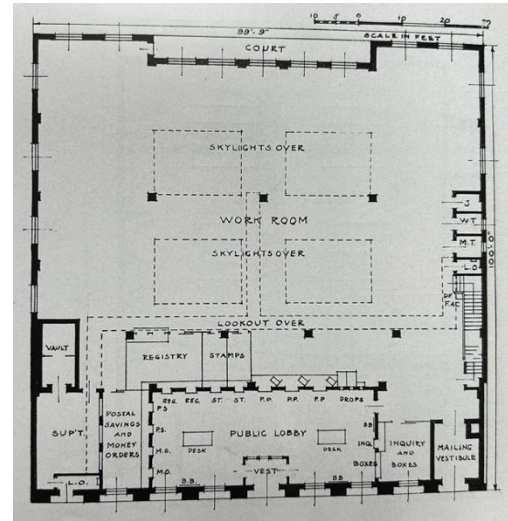


Figure 3: Example of a Class B post office plan in New York, New York. (*Public Buildings Under the Public Work Administration 1933-1939, 1939 – p. 583*)

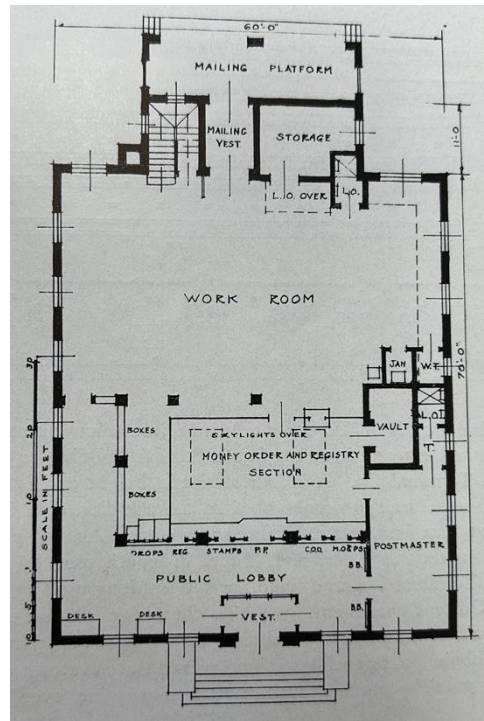
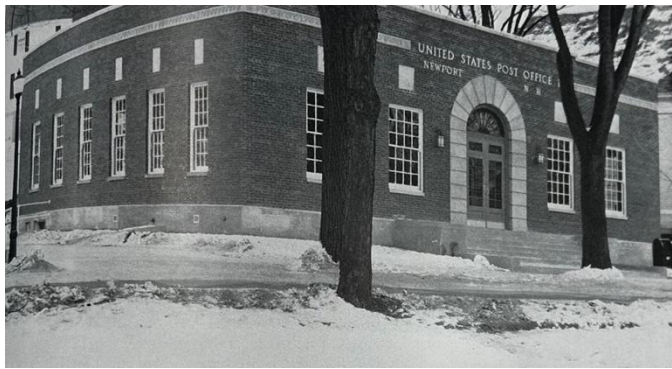


Figure 2: Example of a Class C post office plan in Newport, New Hampshire. (*Public Buildings Under the Public Work Administration 1933-1939, 1939, p. 579*)

The implementation of the class system increased the number of post offices built within a single year because not all post offices were equal in size and ornamentation. This new era of post office construction emphasized standardization; the goal of new postal construction was

functionality as compared to constructing monuments to democracy. The report from Congress goes as far as to note that post offices should be

... a less costly, but durable, simple, and architecturally desirable construction which shall permit economical operation and maintenance. While monumental structures have a place in Government construction there should be discrimination in the selection of the cities in which they shall be erected, and recognition of the rule that the buildings to be constructed should be suitable for the locations in which they are to be erected, conforming to their surroundings, and providing adequate quarters for all branches of the Government there found.²⁹

The classification system marks the first-time emphasis is placed on the post office running similarly to a private corporation as compared to a federal agency.

The number of post offices constructed during the Great Depression was three times as many post offices than had been constructed in the previous 50 years combined.³⁰ The dramatic increase in the number of postal facilities constructed was due to new standardization efforts which had previously been unimplemented.³¹ During the Great Depression, the Treasury Department created a set of post office plans or “cabinet sketches,” which would decrease the number of drawings needed per post office and therefore increase the number built in a short period. The 1937 series of cabinet sketches turned into a federally approved design manual of eleven plans that could be reproduced around the nation.³² Many New Deal post offices still kept ornamentation to a minimum and the classification system was still used to determine building materials and fireproofing. Exterior and interior decoration was still included in Class A and Class B post offices, but New Deal Post offices were often constructed in the New Deal Modern or Stripped Classic style which placed restraints on the use of ornamentation. The need for public

²⁹ United States Postal Service, “History of Post Office Construction: 1900-1940”, 8.

³⁰ A map of postal facilities constructed around the United States during the New Deal can be found at <https://livingnewdeal.org/map/#> on the Living New Deal’s website.

³¹ Post Office Construction was part of the Public Works Administration building programs intended to create work for unemployed men.

³² The URS Group, “Draft Report: USPS Nationwide Historic Context Study: Postal Facilities Constructed or Occupied between 1940 and 1971”, Germantown, MD, 2021, 2-24.

works projects was dramatically curtailed once the United States joined World War II. Construction projects that had already been started were finished (c. 1943) but there would not be another post office construction boom until the late 1950s when urban demographics shifted due to increased suburbanization. Issues in mail delivery in the post-World War II mail boom led to the creation of the Thousand Series post office type which emphasized efficiency over ornamentation.

World War II and the Thousand Series

World War II is responsible for many dramatic changes in post office functionality. The war effort increased mail volumes, changed delivery routes, and led to the need for more efficient ways to process the mail. The precursor to the contemporary ZIP Code, implemented in 1942, had the customer-identified city and state via a numbered code and allowed for quicker manual sorting of mail. That efficiency was supplemented by locating new post offices in the suburbs. The relocation of post office construction from large metropolitan downtowns to smaller post offices on the outskirts of towns allowed quicker processing of increased mail volumes. Postwar suburbs created outside city centers required additional mail routes and more post offices to serve the booming suburban population. The lack of sidewalks in new subdivisions meant post office delivery agents now needed to drive to access new routes. Before 1950 the only motorized postal routes were Rural Free Delivery. By 1969 more than half of all residential routes were motorized.³³ The car culture of the postwar years necessitated post offices move away from downtown due to lack of downtown parking and maneuverability for semi-trucks in tight downtown traffic.

³³ United States Postal Service, *The United States Postal Service*, 27.

Mail volume more than doubled between 1940 and 1960 – an approximated 230 percent increase.³⁴ By 1963, the postal infrastructure was not equipped to handle the massive influx of mail. The system had downtown main post offices receive mail, deliver mail, and sell stamps all at the same facility. The system did not account for a population boom, suburbanization, and the increase in business-related mail meaning post offices could not receive or process mail promptly. Even with the introduction of ZIP Codes and machine sorting, the old mail delivery system had failed. Independently functioning post offices could no longer keep up with surging mail volumes.

As a reaction to the backlogs, the post office initiated a five-year building plan to construct and modernize facilities including leasing 6,000 new buildings. Even with the new infrastructure the post ground to a complete stop in 1966. In a subcommittee meeting, Postmaster General Lawrence F. O'Brien noted, "The answer is not that something specific happened in 1966, but that enough did not happen in the previous 33 years... we are trying to move our mail through facilities largely unchanged since the days...when our mail volume was 30 percent of what it is today."³⁵ Congressional hearings found that the post office was one of the nation's most successful businesses, but it was being run as an inefficient government organization. Technological innovation had proven to be insufficient in solving the backlog created by a complete hiatus on new construction and general deferred maintenance on existing postal facilities. The postal service needed to exponentially increase the number of postal facilities that processed and sorted mail. However, Congress had not passed a bill allowing postal construction since 1938.³⁶ Postmaster Arthur Summerfield, appointed by President Dwight D. Eisenhower,

³⁴ United States Postal Service, *The United States Postal Service*, 60.

³⁵ United States Postal Service, *The United States Postal Service*, 61.

³⁶ Arthur Summerfield, *U.S. Mail: The Story of the United States Postal Service*, (Holt, Rinehart, and Winston: 1960), 67.

recognized that if the post office was ever going to overcome massive backlogs, then the post office network would require a systematic restructuring larger than the implementation of mechanized mail sorting. The Post Office Department started by evaluating the deficiencies in old post office construction as the way to resolve the inefficiencies in new postal architecture.

Post Office design and construction from 1852-1939 was done by the Supervising Architect in the Treasury Department, but during the Great Depression, the Supervising Architects Office was renamed the Public Works Branch and relocated to the Federal Works Agency. However, during World War II, the Public Works Branch was less concerned with the creation of post offices as compared to meeting wartime demand for offices, temporary housing, and hospitals. In 1949, President Truman created the General Services Administration (GSA) and once again renamed and relocated the Federal Works Agency. The newly named Public Buildings Service was a branch of the GSA tasked with designing, creating, and maintaining hundreds of federal buildings throughout the United States.³⁷

Post Office construction was almost nonexistent until 1952 when Congress had hearings about the implementation of a lease purchase program for the Post Office Department. The lease purchase program would allow the Postmaster General to use private equity to construct postal facilities in locations whose yearly postal receipts were more than \$10,000. These newly constructed postal facilities were between 1,000 and 12,000 square feet. The designs for these post offices were prepared by the Chief Regional Engineer's office and were required to follow "Construction Requirements for Leased Post Office Facilities" published in cooperation with the GSA in 1959. Once proposed elevation drawings were approved and submitted to the Regional

³⁷ The General Services Administration was created to deal with the disposal of surplus war goods and store government records, among other various tasks. The GSA quickly started managing buildings when, in the 1950s, President Truman tasked the agency with the renovations of the White House.

Real Estate Office bids from private construction companies would be submitted. Once a bidder won the contract the company would prepare working drawings and final specifications for the proposed facility and get them approved by the Chief Regional Engineer's office before construction could begin. After the developer constructed the facility the Post Office Department would lease the building for a term between eight and twenty-five years with a variable interest rate of four to eleven and a half percent.³⁸ At the end of the lease, the Postal Department would have an option to renew the lease or purchase the building.³⁹

Prior to the Lease Purchase Agreement, all funds for postal construction were appropriated by Congress at the beginning of the year. Only five to ten million dollars a year were appropriated, which is enough to create one or two large postal facilities in larger cities.⁴⁰ The political process of congressional appropriation meant that postal construction was not done equally, an emphasis was placed on construction in larger cities. The lease purchase program would allow the lump sum of appropriated federal dollars to purchase land and have a private developer construct 200 smaller post offices in rural towns which could then be paid off incrementally.⁴¹

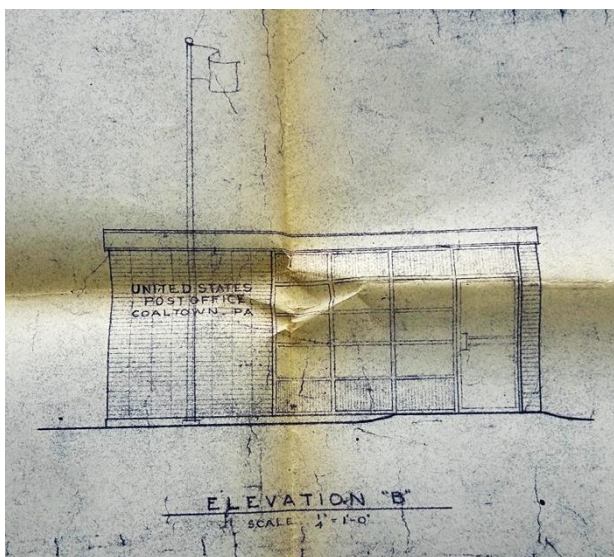


Figure 4: Proposed Thousand Series Design which could be economically reproduced nationwide speeding up mail delivery. (USPS Corporate Library, Date Unknown)

³⁸ URS, "Draft Report: USPS Nationwide Historic Context Study", 2-12.

³⁹ *United States Postal Office Department Building Designs*, 1956; Box 38; Arthur Summerfield Additional Papers; Eisenhower Presidential Library.

⁴⁰ The United States Post Office Department Lease Purchase Act, 1952, 15.

⁴¹ Lease Purchase Act, 15.

The old mail sorting and delivery system had all of the postal operations happening in the same building. The lease purchase program intended to speed up the mail delivery process by increasing the number of facilities that could efficiently sort increased mail volumes which would subsequently create a new regional postal network. The new facilities focused on one portion of the mailing process and as a result created new types of postal architecture. The new building functions include mail processing and distribution, combined federal buildings and post offices, vehicle maintenance centers, and main post offices which have counter service and deliver presorted mail.⁴² Although post offices constructed pre-Thousand Series are still utilized in the regional distribution network created by the Thousand Series.

The lease purchase legislation was not passed until 1954 when Congress passed the Public Buildings Purchase Contract Act which allowed the private sector to invest in public buildings. The 1954 act establishing the lease purchase program was intended to be a temporary solution; it was not until the Public Buildings Act of 1959 that the lease purchase program became a permanent fixture of postal construction.⁴³ The 1959 act also stipulated that all new federal buildings constructed were to go through federal appropriations allotted to the GSA. In his book *U.S. Mail: The Story of the United States Postal Service*, former Postmaster General Arthur Summerfield writes

Newly built modern post-office buildings have improved operations in 4,300 locations in the last seven years *without incurring a cent of construction costs for the taxpayer*. We are using a commercial-type lease system that actually costs the Post Office Department *less per square foot* for occupancy than the [prior] program of public works construction with appropriated federal funds. Three new post-office buildings *are being added every working day*, and these are truly modern buildings—efficient and comfortable for the public and postal workers.⁴⁴

⁴² These subtypes are defined by the URS Context Study and are not official USPS postal facility classifications.

⁴³ There are no statistics that show the number of post offices built with the 1954 Public Buildings Contract Act. Nor is there any evidence which illustrates why the 1954 act was insufficient to the point that the 1959 Public Buildings Act needed to be passed.

⁴⁴ Summerfield, *U.S. Mail: The Story of the United States Postal Service*, 180.

The lease purchase program exponentially increased the number of post offices nationwide. As a result, the Post Office Department partnered with the GSA to create a set of pre-approved building designs and specifications. The brochure *Building Design*, published in 1959 for contractors, provides site layouts, elevation drawings, and floor plans for different leased postal facilities. These new-age standardized post offices could take many forms, including designs not provided in the brochure. The USPS Corporate Library had on file a blueprint of three Thousand Series main post office designs between 700 and 900 square feet drawn on December 16, 1959, which did not make it into the Design Guidelines but are reproduced around the nation. Sections of the blueprint can be seen below.

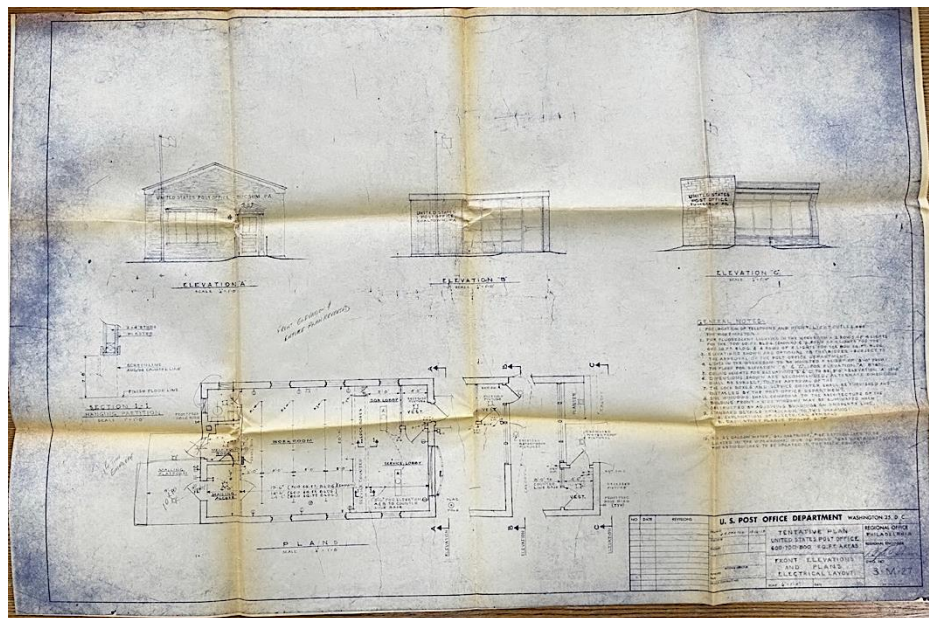


Figure 5: Colonial Revival and Modern Designs for Thousand Series Post Offices not included in either edition of Building Designs (USPS Corporate Library, 1959).

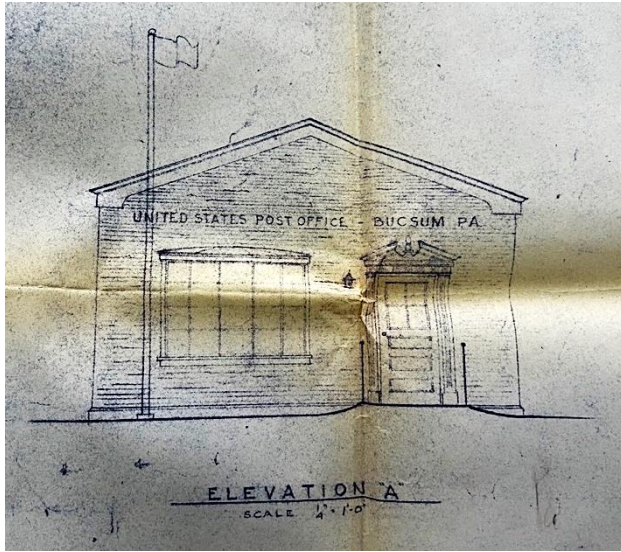


Figure 6: Colonial Revival Design of Thousand Series Post Office not included in Building Design Guidelines (USPS Corporate Library, 1959).

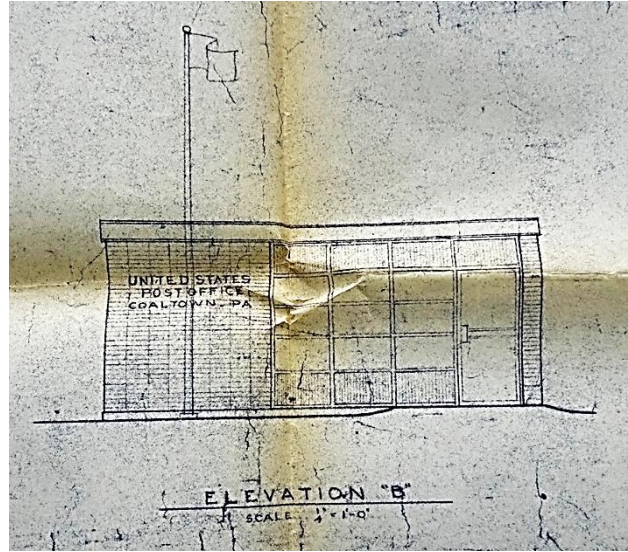


Figure 7: Modern Design 1 of Thousand Series Post Office not included in Building Design Guidelines (USPS Corporate Library, 1959).

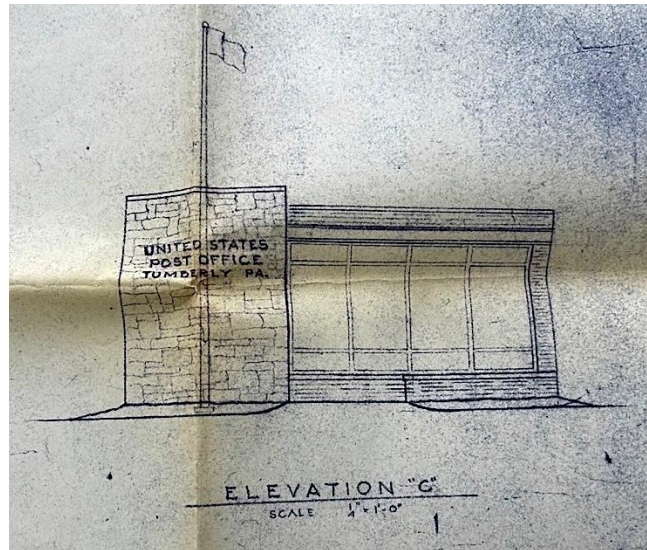


Figure 8: Modern Design 2 of Thousand Series Post Office not included in Building Design Guidelines (USPS Corporate Library, 1959).

Building Designs published in 1959 and republished in 1964 provide multiple floor plans and exterior elevation drawings for post offices between 1,000 and 12,000 square feet.⁴⁵ The building designs were not created to “preclude original designs by architects...” but to speed up construction time and decrease construction cost.⁴⁶ Each schematic plan is determined by total square footage and contains a suggested lot layout and recommended interior and exterior construction materials. However, process and distribution centers were not preplanned designs in a brochure; instead, a local architect was hired and given the specifications needed to house necessary machinery.⁴⁷ The process and distribution centers were designed based on the function of the space, the only requirement was that they be sited near a major highway or in the periphery of a large metropolitan city.

The four lot types specified, Types A, B, C, D, are in the 1959 publication of *Design Guidelines* (Figure 9). Lot Type A is an interior lot with other buildings flanking each side of the post office. The consumer entrance is located on an “improved street,” with trucking access in the rear accessed by a parallel access road. ‘Lot Type B’ is a corner lot with a building flanking one side. The customer entrance is located on the front elevation with trucking accessibility on rear elevations accessed by the road parallel to the frontage road. ‘Lot Type C,’ also a corner lot, shows an alternate scenario of a flanking building, a front façade entrance, and side truck accessibility. ‘Lot Type D’ is an inside lot sandwiched between two buildings with a front

⁴⁵ The only distinction between the 1959 *Building Design* publication and the 1964 publication are the inclusion of a few new design plates. In most cases the new design plates only include an exterior elevation, no associated plan is included. The 1959 iteration of *Building Design* provides illustrations of lot type, and section views for construction, these are excluded from the 1964 re-print.

⁴⁶ *United States Postal Office Department Building Designs*; Eisenhower Presidential Library.

⁴⁷ URS, “Draft Report: USPS Nationwide Historic Context Study”, (3-40).

No resources were found in the USPS Corporate Library relating to the design requirements for process and distribution centers.

entrance located on an “improved street” and trucking accesses in the rear accessed via the road parallel to the frontage road. Lot D also includes dedicated patron parking lot.

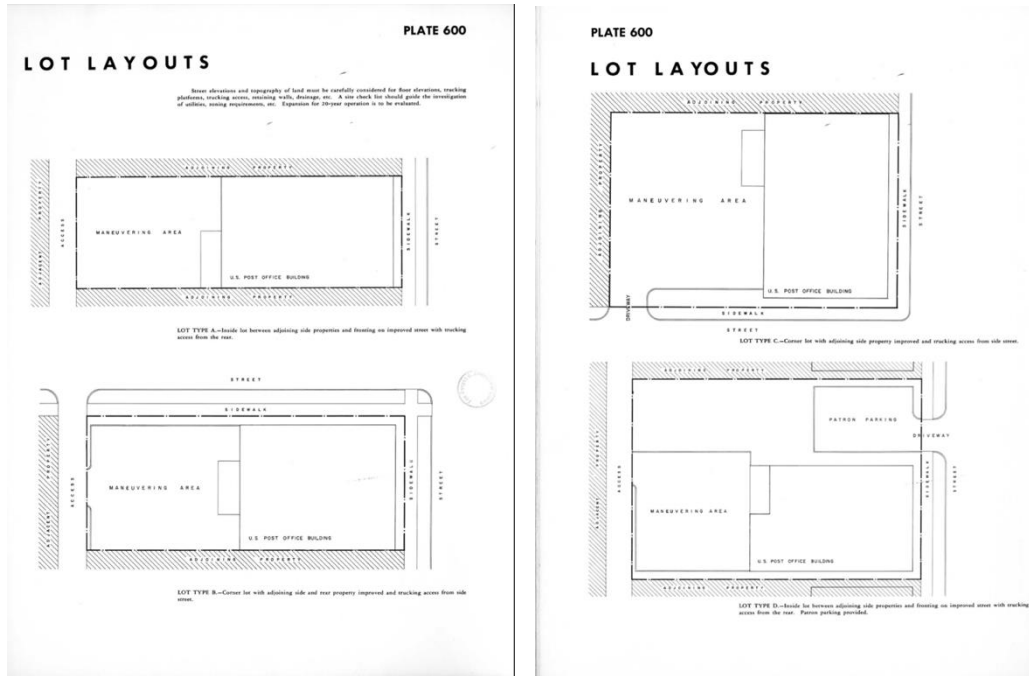


Figure 9: Lot layouts for Thousand Series facilities in Building Design Guidelines (Eisenhower Presidential Library, 1959).

However, Postmaster General Summerfield’s plans for modernization did not stop at design guidelines and lot layouts. Summerfield thought that the next step in turning the Post Office Department into a successful business was via the adoption of a commercial architectural style like modernism. Summerfield felt that “These outstandingly designed new structures often bring about a notable change in the spirit and appearance of the whole community in which they are located.” The newly designed post offices were not just architecturally modern but were also considered unique as they were intended to “...revitaliz[e] and beautif[y] their locale, they often stimulate its development far beyond...improved postal service. They make a pronounced social and economic contribution...at no increased expense to the taxpayer.”

The last design-related publication published by the USPS was the United States Postal Service Central Region Family of Standard Buildings published by the Real Estate and Building Design Department in 1983. This document appears to be a one-off publication and provides no explanation for the new design standards. In fact, the document only includes designs for four post offices in a “residential” or “commercial” setting. The ‘four’ different designs are the same iteration of two front elevation drawings but with different materials and suggested floor plans. There was little to no contextual evidence for why these plans were created and how they were distributed in the USPS Corporate Library archives.



Figure 10: Residential plan for later Thousand Series main post offices (USPS Corporate Library, 1983).



Figure 11: Commercial plan for later Thousand Series main post offices (USPS Corporate Library, 1983).

The Thousand Series post office construction boom was during the height of modernism in the United States. By 1968 the Post Office Department was the largest ‘tenant’ in the nation occupying a resounding 30,274 buildings and an estimated 82 million square feet across the nation.⁴⁸ As such, the architects designing the Thousand Series Post Office were influenced by modernist design and materials which broke from the more traditional classical architecture historically associated with post offices. The Thousand Series facilities are heavily influenced by both the International and New Formalist styles of architecture popularized in the United States from around 1932 to the early 1970s.⁴⁹ Both the International and New Formalist style are based on modern structural technologies and new construction materials. The need for new postal facilities meant the Thousand Series embraced economical construction trends like the modernist

⁴⁸ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-52.

⁴⁹ The starting dates and ending dates of these styles are contentious amongst architectural historians and are, therefore, approximate.

International style/type which were constructed quickly with an emphasis on modern economically efficient materials.

The modernist rejection of ornamentation distinguishes this period of architecture from earlier periods. This period saw an emphasis on materials like glass, metal, and concrete which were used as an important design feature. The choice of the materials and their location in the design created a “horizontal feeling,” which was a hallmark of the style even if the building was tall.⁵⁰ These styles had no strict adherence to symmetry but were intended to be balanced if not symmetrical. Modern architects wanted to celebrate the “mundane” technology necessary for building functionality.⁵¹ Water heaters, air compressors, and elevator shafts were not hidden away but instead were highly visible. These modernist styles, above all else, were intended to be functional. The New Formalist style is another modernist architectural style with a strict emphasis on symmetry. The International style had strictly emphasized ornamentation via construction materials, whereas New Formalism was interested in capturing a new form of modernist classicism.⁵² The new style emphasizes structural ornamentation via the use of formed concrete and metal screens which create patterns in the concrete.⁵³

⁵⁰ John C. Poppeliers and S. Allen Chambers Jr., *What Style Is It: A guide to American Architecture*. (The National Trust, 2003), 128.

⁵¹ Poppeliers and Chambers. *What Style Is It.*, 128.

⁵² Marcus Whiffen, *American Architecture Since 1780: A Guide to Styles*. (Cambridge: Massachusetts, MIT Press, 1969), 261.

⁵³ Whiffen. *American Architecture Since 1780*, 262.

It would be a mistake to classify the Thousand Series as a truly unique iteration of modernist design, however, modernism's influence on the 1959 and 1964 design guidelines is readily apparent. The main post offices of the Thousand Series emphasize an asymmetrical horizontal massing. The Thousand Series facilities are constructed using readily available building materials like brick and aluminum, and any exterior decoration is done using the primary construction materials. Many of the post offices of the period are boxy, like early modernist houses, and most have an emphasis on windows as ornamentation. The simplistic nature of the Thousand Series could be attributed to keeping construction cost low but there are certainly real nods to modernist architectural style which should not go unnoted.



Figure 12: Mies Van Der Rohe's Robert F. Carr Memorial Chapel of St. Savior constructed in 1952 at the Illinois Institute of Technology, Chicago. The Robert F. Carr Memorial Chapel illustrates potential inspiration for modern Thousand Series post offices. The St. Savior Chapel is a low rise building with glass taking up a larger portion of the front façade, the only ornamentation comes from the color and pattern of brick and placement and style of windows (20th Century Architecture, No Date).



Figure 13: Potential design plate in Building Design Guidelines from the USPS which heavily relies on the international style mimics the design of the Chapel of St. Savior in the low rise building with glass taking up a majority of the front façade, blond stacked brick veneer, and modern construction materials specifically aluminum (USPS Corporate Library, 1959).

Arthur Summerfield was not the only advocate for the federal government's adoption of modernism. During the same year Design Guidelines were issued (1959), President John F. Kennedy recognized the need for intervention in federal design. Kennedy created the Ad Hoc Committee of Federal Office Space in August of 1961, which was tasked with reviewing the

federal offices privately constructed as a result of the Public Buildings Act of 1959. The Ad Hoc Committee presented a report in 1962 that contained Senator Daniel Patrick Moynihan's "Guiding Principles for Federal Architecture."⁵⁴ Above all, the report emphasized the importance of efficiency and economic architecture that provides "...visual testimony to the dignity, enterprise, vigor, and stability of the American government."⁵⁵ The report is specific to federal architecture in Washington, D.C. The Ad Hoc Committee on Federal Office Space found that federal buildings (both publicly and privately constructed) were inefficient and uncomfortable to commute to or work in, potentially deterring citizens from working for the government.

The new "Guiding Principles" were threefold. The first principle is that federal architecture should be a manifestation of the most contemporary American architectural style, including references to local and regional architectural heritage. The building needs to be accessible to all yet also efficient and economical in its construction. The second guiding principle was that an "official" style needed to be avoided. All federal buildings should be distinct in their design and style put simply, "The architectural profession should dictate the trend of government buildings, but the government should not dictate architectural trends."⁵⁶ The emphasis on contemporary design meant that the government must be willing to pay some additional money to avoid uniformity in design. The final guiding principle was concerned with where federal buildings were sited. The selection of a site should be considered part of the design of the building, and special consideration should go into site selection.

⁵⁴ Robinson and Associates, *Growth, Efficiency, and Modernism: GSA Buildings of the 1950s, 1960s, and 70s*, General Services Administration, 2003, 42.

⁵⁵ General Services Administration, "Guiding principles for federal architecture", 2024, <https://www.gsa.gov/real-estate/design-and-construction/design-excellence-program/guiding-principles-for-federal-architecture>.

⁵⁶ Robinson and Associates. *Growth, Efficiency, and Modernism*, 44.

Considering the Post Office Department's modernization efforts predate the Guiding Principles there appears to be little correlation between the two initiatives. Moynihan's principles may have influenced the later construction of postal facilities, but the post office department was more concerned with the functionality and economic efficiency of post office construction, meaning the same design could and should be repeated across the nation to speed up process and delivery times.

Creation of The United States Postal Service 1965 to 2000

Even with technological and architectural modernization, the postal service came to a grinding stop in 1966 with ten million pieces of mail backlogging the Chicago post office. In 1967, Postmaster General Lawrence O'Brien proposed a new model for the post, which consisted of a depoliticized postal service that took the Post Office Department out of the presidential cabinet and turned the post into a nonprofit business. President Lyndon Johnson appointed a ten-member commission, comprised of private sector CEOs and professors of major business schools, to investigate the post offices' \$1.3 billion dollar deficit. At the time the commission was appointed, the post office had 700,000 employees and had annual costs of 6.2 billion dollars, with revenues totaling 5.1 billion dollars.⁵⁷ The 212-page report *Towards Postal Excellence* was released in July 1968 and advocated that the post should be a "government-owned corporation" governed by a board of directors and driven by and supported by its revenues, not taxpayer dollars.⁵⁸

In March 1970, in response to the looming managerial changes and historically meager salaries, postal employees staged the first-ever major strike by federal workers. The strike halted the nation's mail, affecting the stock market and preventing more than 9,000 military draft

⁵⁷ Winifred Gallagher, *How the Post Office Created America: A History*, (New York: Penguin Books, 2016), 251.

⁵⁸ Gallagher, *How the Post Office Created America*, 251.

notices from being delivered. The strike lasted long enough for President Richard Nixon to order the military to deliver the mail. On August 12, 1970, President Richard Nixon signed the *Postal Reorganization Act*, which officially created the United States Postal Service. The *Postal Reorganization Act* was loosely based on the report *Towards Postal Excellence*. The act downgraded the USPS from a federal department to a federal agency, which meant the Postmaster General was removed from the President's cabinet and run by a board of governors nominated by the president and confirmed by the Senate. Postal revenues were automatically placed in a newly created Postal Service Fund which the USPS could use at its discretion and without Congressional appropriation.

However, to jumpstart the program the *Postal Reorganization Act* allotted money to modernize buildings and equipment. The process of transitioning the federal department into an independently functioning quasi-independent federal business was somewhat perilous as the postal deficit continued to soar and service became erratic, allowing the United Parcel Service (UPS) and Federal Express (FedEx) to become major competitors in parcel delivery and urgent next day delivery.⁵⁹ Modernization efforts continued well into the 1980s and even into the 21st century. ZIP Codes were expanded with four+ digits allowing sorting into zones as far as a singular city block or specific corporate building.⁶⁰ The increased mechanical sorting sped up delivery for mail carriers as a machine sorted the mail in the order it needed to be delivered. Mail volume started to fall with the economic recession of the 1990s and early 2000s, making modernization of the postal process redundant.

The dramatic changes in mail delivery and post office construction and design from the creation of the United States Post Office in 1775 to the creation of the United States Postal

⁵⁹ Gallagher. *How the Post Office Created America*, 260.

⁶⁰ Gallagher. *How the Post Office Created America*, 261.

Service in 1971 cannot be understated. The USPS historically had a major impact on how the United States has functioned, from the creation of a free postal system to the implementation of postal delivery and the subsidization of major transportation systems including air mail and the interstate highway system. The sheer historic importance the postal service has had on the people and government of the United States makes postal facilities easily eligible for recognition via the National Register of Historic Places.

Historic Preservation and Survey

Historic Preservation in practice is incredibly diverse. The National Register is only one subsection of the field. There are five large subsections of the modern preservation field, and they include preservation advocacy and legal research, survey and the National Register, Section 106, and historic tax credit programs. This thesis is concerned primarily with the National Register and survey subsections of historic preservation as any potentially significant property must be surveyed to determine if it meets the eligibility requirements for the National Register. Properties are surveyed based on their age, architectural type, architectural style, and landscape features. An architectural type is a classification of a structure, or building, that is determined by interior layout, height, and massing, whereas style refers to applied ornamentation. Some architectural types have an associated architectural style; for example, a Queen Anne house is usually also in the Queen Anne style. Although not all buildings have associated types or styles, in many instances, buildings and structures with no academic style are referenced by their form and their style is referred to as 'vernacular'. Similar to architectural type and style, landscapes have comparable types and styles influenced by the period in which they were developed.

Types and styles are determined by professional architectural historians or landscape historians. In order to determine new types and styles, architectural historians survey buildings

and structures with the same use, constructed in a similar period, and potentially in a specific geographic location. The same occurs with landscape historians. The survey data is then used to determine what the necessary character-defining features of the new type or style are. Character-defining features are the elements of a building, structure or landscape that identify common features of that type or style. The character-defining features of a Queen Anne-type house would require the building to, at minimum, be two stories with an asymmetrical massing. The character-defining features of the Queen Anne style could be a specific window pattern, ginger breading or intricate turned wooden balusters on the porch railings, and decorative shingling on the house façade or roof, amongst other potential decorative details. The findings of the survey are often turned into historical contexts, which provide other architectural historians with a construction period, character-defining features, and National Register eligibility requirements for similar properties.

The National Register of Historic Places

The National Historic Preservation Act of 1966 laid the foundation for the creation of the National Register of Historic Places also referred to as the NRHP or simply the National Register. Preservation professor and National Park Service Historian John H. Sprinkle Jr. notes in his book *Crafting Preservation Criteria: The National Register of Historic Places and American Historic Preservation* that, “In the end, it is just a list. The National Register of Historic Places is simply a list of properties... nominated for historical recognition using a set of criteria established by the National Park Service...”⁶¹ There are currently (2023) more than 98,000 historic resources and more than a million individual sites listed on the National

⁶¹ John H. Sprinkle Jr. *Crafting Preservation Criteria: The National Register of Historic Places and American Historic Preservation*, (New York: Routledge, 2014), 1.

Register.⁶² To be listed, a historic resource must be able to convey its historical importance at the local, state, or national level. The National Register is symbolic in nature, hence the inclusion of a historic property on the list does not in any way hinder the property owner's ability to make changes or even demolish their property, as the listing on the National Register provides no legal mandate for preservation.⁶³ However, inclusion on the National Register does provide some level of economic incentive for private property owners via eligibility for State and Federal tax credits.⁶⁴ The NHPA requires government agencies to nominate their potentially historic properties but listing on the National Register for private property owners is optional.

To nominate a historic property to the National Register a nomination must be prepared using a form created by the National Park Service. The National Register nomination form is split into two primary sections. The first section asks for the construction and alteration dates, the physical description of the property, and its character-defining features. The second section asks for the history of the property and a justification of its importance to American history (a context based on the area(s) of significance). The second section of the nomination asks the preparer to document the architecture and history of the property. Nominations do not need to be prepared by the property owner but can be prepared by a state, city or local government, a non-profit organization, or a private cultural resource management firm. Once a nomination is prepared the State Historic Preservation Office (SHPO) where the historic property resides will review the nomination. Once the nomination is approved by the SHPO, a committee of professionals

⁶² National Park Service. "The National Register of Historic Places and the National Historic Landmarks Program", May 21, 2024, <https://www.nps.gov/subjects/nationalhistoriclandmarks/nr-and-nhl.htm#:~:text=The%20National%20Register%20is%20the,listed%20in%20the%20National%20Register.>

⁶³ It is important to note that though the NRHP is a federal program and does not come with restrictions, some state and local governments have their own ordinances, regulations, acts, etc. that refer back to NRHP-listed properties. This thesis does not cover NRHP-related regulations at the state or local level of government and focuses on the NRHP as it is presented in the NHPA.

⁶⁴ John H. Sprinkle Jr. *Crafting Preservation Criteria*, 1.

(typically referred to as “Review Board”), often appointed by the governor of the state, convenes to approve, or deny nominations for the state register of historic places.⁶⁵ After approval, the state committee can then recommend the SHPO send the nomination to the Keeper of the National Register of Historic Places.⁶⁶ Once a nomination is sent to the Keeper there may be additional rounds of edits. After the Keeper has approved a nomination, the resource is listed on the National Register. In very few instances are properties removed from the National Register. However, the destruction, alteration, and physical deterioration can lead to a property being removed.

The National Register process is not limited to nominations of individual historic properties or historic districts. The Keeper of the National Register also approves Multiple Property Documentation Forms (MPDFs), often referred to as historic contexts. Historic contexts differ from National Register nominations; they do not nominate properties on their own but instead provide the basis for the nomination of many resources with the same historical association or architectural type—specifically its area of significance. The area of significance is a period of history or a specific event which the property is associated with. A historic context provides the necessary background information and identification of physical features needed to be eligible for listing under the historic context.⁶⁷ The MPDF streamlines the research and evaluation process as it compiles all the background research necessary for the nomination process. There are many historic contexts related to broad themes like the history of agriculture

⁶⁵ In many instances the state register has the same criteria as the National Register, but some states have more lenient criteria.

⁶⁶ If the state does not have a state register the nomination still goes through the professional committee review but is only submitted to Keeper of the National Register.

⁶⁷ Character-defining features are physical elements which are able to convey a property’s historic significance.

or suburbanization, but there are also more niche historic contexts prepared on the use of a specific regional building material like Post Rock Limestone in parts of the Midwest.

Historic properties potentially eligible for the National Register can be nominated under the categories of buildings, structures, objects, sites, and districts. A building houses human activity whereas a structure is used for purposes not relating to human shelter. Therefore, a house is considered a building, but a barn is considered a structure.



Figure 14: 1505 Kentucky St, Lawrence, Kansas. Greek Revival constructed in 1864. The house is considered a building as it houses human activity (KHRI, 2008).



Figure 15: 1827 E 1150 Rd, Lawrence, Kansas. Bank Barn constructed in 1879 which houses hay and livestock. Considering the barn does not house human activity it is considered a structure. (KHRI, 2007).

An object refers to artistic constructed features that may be movable, i.e., a sculpture. A site is location of an event that is significant regardless of its association with the built environment, like a Civil War battlefield, complex/campus, park, cemetery, or landscape. A district is a concentration of sites, buildings, structures, or objects related to one another either by historical association, architectural type, style, or time period. A building, structure, object, site,

or district must be 50 years of age to qualify for listing.⁶⁸ Once the category and age of a historic property has been identified, the period of significance of the property must then be determined.

The period of significance is the year or span of years a historic property became noted as historic. The period of significance can be a single year or over a span of many years. A house significant for its architecture might only be significant in the year it was constructed, whereas a historic farm might be significant from the period the farm started until farming operations stopped. By establishing the period of significance, it is then possible to determine what features of a historic property are related to the historic significance.

The historic significance is a historic property's association with four different criteria, also referred to as areas of significance, determined by the Secretary of the Interior and the National Park Service. *National Register Bulletin 15: How to apply the National Register Criteria for Evaluation* notes: "To qualify for the National Register, a property must ...represent a significant part of the history, architecture, archeology, engineering, or culture..."⁶⁹ *Bulletin 15* continues noting "...and it must have...characteristics that make it a good representative of properties associated with that aspect of the past."⁷⁰ To be considered significant a property must fit within a historic context and have enough integrity or authenticity to convey its historic significance. There are four primary forms of significance defined by *National Register Bulletin 15*, which are also commonly referred to as criteria. The criteria indicate how a site can physically illustrate its association with history. The four criterion considerations evaluate if a

⁶⁸ Criterion Consideration G allows for properties less than 50 years of age to be listed if they are extraordinarily unique or if the building of significance is justifiable less than 50 years of age.

⁶⁹ National Park Service, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, 1995, https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf, 7.

⁷⁰ National Park Service, *National Register Bulletin 15*, 7.

property is important for its associative value, its design or construction, or its informational value.⁷¹

Criterion A is for properties that are associated with “...events that have made a significant contribution to the broad patterns of our history.”⁷² The property can be significant for a singular event that happened or because of a pattern of events denoting a historic trend. However, association with an event is not enough to qualify for listing. A property must be able to document evidence that made it historically important during the period of significance for which it is being nominated. *Bulletin 15* notes that a building historically used for commercial purposes must be able to prove its significance to commercial history at the local, state, or national level. The National Park Service has determined 30 plus areas of significance for association with Criterion A ranging from agriculture, and ethnic heritage, to industry and social history.

Properties eligible under Criterion B are those properties that have an association with the “...lives of persons significant in our past.”⁷³ Properties that have a documented association with an important historical figure, whether it be at the local, state, or federal level, are eligible for listing under Criterion B. However, the criterion is specific to properties that illustrate the achievements of the historically significant person during their life. Therefore, in very few instances are birthplaces or graves listed on the National Register.

Criterion C is for properties with spectacular or representative craftsmanship during a specific period of construction. Architecturally significant properties would qualify under this criterion. *National Register Bulletin 15* describes architectural significance as properties that:

⁷¹ National Park Service, *National Register Bulletin 15*, 11.

⁷² National Park Service, *National Register Bulletin 15*, 12.

⁷³ National Park Service, *National Register Bulletin 15*, 14.

...embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction.⁷⁴

To qualify via Criterion C a property needs only to be significant for one of the above-mentioned aspects.

Criterion D pertains to those properties that have yielded or may be likely to yield information significant to prehistory or history. Criterion D is primarily geared toward those properties that might have archeological resources. *Bulletin 15* notes that having archeological remains does not automatically make a property eligible for listing. Instead, the information yielded must be “considered important”. Important properties fill a research gap or create alternative theories.

Integrity is a set of defined characteristics, which relate to a property’s physical historic significance. Therefore, significance must be determined before integrity is evaluated. No hard and fast rule dictates which aspects of integrity a property must maintain in order to be considered significant. Bulletin 15 recommends establishing which physical features are essential for a property to physically illustrate its historic significance, and “Ultimately, the question of integrity is answered by whether or not the property retains the identity for which it is significant.”⁷⁵

A property may be listed on the National Register under multiple criteria if it has enough physical and documentary evidence to convey its historic association. The National Park Service defines seven aspects of integrity to determine if the physical remnants convey a property’s historic association. Integrity is subjective, but a property must maintain the aspects of integrity

⁷⁴ National Park Service, *National Register Bulletin 15*, 14.

⁷⁵ National Park Service, *National Register Bulletin 15*, 45.

that demonstrate a property's significance to be deemed potentially eligible for the National Register.

The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. Location is where the property was originally constructed, or a historic event occurred. The integrity of location may explain why the property was created or why a historic event might have taken place there. Design is "... the combination of elements that create the form, plan, space, structure, and style of a property."⁷⁶ Design illustrates the evolution of aesthetic and historic functions. Setting is the environment around a historic property; it is about the "how"/where the property is situated and evaluates the changes in the environment surrounding the historic resource. The integrity of materials is evaluated based on remaining/altered materials from a specific period of significance at a historic property.⁷⁷ Materials can show the evolution of a historic structure throughout time. Workmanship is the evidence of culture or specific individuals in the creation of a historic property. Feeling and association are often difficult to evaluate, being the most subjective of all of the aspects integrity. Feeling refers to "... a property's expression of the aesthetic or historic sense of a particular period of time."⁷⁸ Feeling is the combination of the other five aspects of integrity coming together to paint the picture of what a property's historic character might feel like. Association is the direct correlation between a historical event or historical figure to the historic property being nominated. Physical features from the period of significance must be present to prove an association.

⁷⁶ National Park Service, *National Register Bulletin 15*, 44.

⁷⁷ The period of significance is determined for each property in the nomination process. It is the period of time in which the property was historically significant. Criteria and integrity are determined based on the period of significance.

⁷⁸ National Park Service, *National Register Bulletin 15*, 45.

Post Office Preservation and the National Register

There have been nineteen historic context studies written about National Register eligibility of post offices, each concerned with a different level of significance. The first and most broad is *National Register Bulletin 13: How to Apply the National Register Criteria to Post Offices*, published in 1984 and revised in 1994. *Bulletin 13* is specific to determining the eligibility of post offices constructed before 1939 and notes that a post office may be eligible at the national, state, or local level under any of the four areas of significance. The bulletin is useful for evaluating the significance of post office construction pre-New Deal, but it does not guide how to evaluate the significance of mass-reproduced architecture like the Thousand Series. Even if not tailored to modernist post office construction *Bulletin 13* provides a general framework for evaluating post office eligibility including instructions on how to determine character-defining features, periods of significance, and required aspects of integrity.

At the state level, sixteen states have created state-specific post office historic contexts, all focused on post offices constructed before the end of or immediately following the Great Depression (1943). The state of Kansas has “Kansas Post Offices with Artwork, 1936-1942, Multiple Property Submission,” which is concerned with the nomination of New Deal post offices with Works Progress Administration (WPA) artwork. In other states, MPDFs are generally geared towards New Deal architecture and lack guidance on the nomination of modernist postal architecture.

There are very few historic context studies related to the historic significance of modernist federal architecture. Seeing a need to evaluate the significance of many modernist resources that are coming of age, the GSA hired the cultural resource management firm Robinson and Associates to create a historic context study that would provide the basis for

National Register eligibility assessments when modernist resources came of age. The report titled *Growth, Efficiency, and Modernism: GSA Buildings of the 1950s, 1960s, and 70s* (2003) determined the National Register eligibility of GSA-owned or constructed federal buildings in the modernist style. The context study decided that since many of its modernist buildings stressed efficiency and economy, many would not be considered eligible for the National Register as they are not architecturally distinct enough, nor do they illustrate the best of modernist design.⁷⁹ As a result, very few modernist post offices have been listed on the National Register, although there was hesitancy to list federal modernist buildings in the early 2000s, 20 years later many of these properties have gained significance and a new evaluation should be conducted.

Thousand Series Post Office Contexts, Critique, and Description

The Thousand Series is a period of post office architecture defined by the cultural resource management firm the URS Group. The Thousand Series was not considered a historically significant period of postal architecture until March 2012 when the USPS commissioned the URS Group to conduct a nationwide post office survey which would in turn be used as a historic context study of postal resources occupied or constructed between 1940-1971.

The URS context study is comprised of post office history from 1940-1971, architectural descriptions, and National Register eligibility of post offices constructed between 1940-1971. The URS report determined that there were two types of post offices constructed from 1940-1971. The first was the Public Works Administration (PWA) post offices constructed between

⁷⁹ Robinson and Associates, *Growth, Efficiency, and Modernism*, 104.

1940 and 1943. The second type identified by the URS study was the Thousand Series Post Office constructed from 1960-1971. The URS report concluded that under the Thousand Series type there were six different subtypes constructed in the modernist/international style. The six subtypes include main post offices, process and distribution centers, combined federal office buildings, vehicle maintenance facilities, postal annexes, and postal complexes. Each post office type has a period of significance, area of significance, associated character-defining features, and necessary aspects of integrity for each subtype to be determined eligible for listing on the National Register.

The URS report was originally undertaken as a Section 106 mitigation effort in response to the ACHPs report to Congress on the USPS violation of the National Historic Preservation Act. The URS report was intended to be used as an update for *National Register Bulletin 13*; however, the Keeper never officially approved the report. Therefore, the URS context study is not an official MPDF; it may be cited in official National Register nominations, but meeting the criteria determined for a Thousand Series post office in the URS context study does not make a property eligible for listing. The URS context study was conducted:

As a thematic based context, rather than a geographic based analysis, application of the criteria needs to be based primarily on Post Office Department history, rather than a broad application of all possible criteria and areas of significance. A building, therefore, may be eligible under Criterion C for Architecture as an important example of an academic style within the local context but if that academic style is not important within the historic context of the Post Office Department 1940-1971, this document does not assess its potential architectural significance.⁸⁰

Due to the constraints on the study, the URS Group determined that Thousand Series post offices nationwide were only considered eligible for the National Register at the local level; there were no instances of a Thousand Series post office being significant at the national level under any of

⁸⁰ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-4.

the four National Register areas of significance.⁸¹ The URS context study also notes that before any post office is considered eligible for the National Register at the state level a state-wide survey of postal resources must be undertaken.

The most recent historic context on the Thousand Series is Oregon's state-specific MPDF that builds on URS' research. "U.S. Post Office Department Facilities in Oregon, 1940-1971, National Register of Historic Places Multiple Property Documentation Form" only evaluates Thousand Series facilities potentially significant at the state level. The MPDF was approved by the Keeper as a historic context for the National Register on January 31, 2017. The Oregon MPDF determined that only the best singular example of Thousand Series postal construction would be eligible for the National Register at the state level. As a result, only one post office in Oregon from 1941-1971 has been listed on the National Register.

Most recently, the state of North Dakota listed a Thousand Series post office on the National Register at the local level of significance (2021). The Federal Building and U.S. Post Office in Fargo, North Dakota was listed on the National Register under Criterion C for its association with modernist federal architecture.⁸² The GSA owns the building and hired a cultural resource management firm to write the nomination, which cites *Growth, Efficiency, and Modernism: GSA Buildings of the 1950s, 1960s, and 70s* but does not classify the facility using the Thousand Series umbrella, nor does it cite the URS or Oregon context studies.

The URS report and the Oregon report are specific to postal facilities constructed between 1940-1971. The reports evaluate the historical significance of these facilities based on

⁸¹ However, the URS study only surveyed 7% or 98 post offices out of an identified 1,461 post offices constructed between 1940-1971. The primary source evidence from Postmaster General Summerfield indicates that by 1963 there were more than 4,300 Thousand Series post offices in the United States.

⁸² United States Department of the Interior, National Park Service, March 15, 2021, National Register of Historic Places Nomination prepared by Carin Carlson. "Federal Building and U.S. Post Office, Fargo, North Dakota" North Dakota State Historic Preservation Office.

the history of the United States Postal Service and their architectural merit. Although the Oregon MPDF was based on the research and recommendations in the URS context study their treatment recommendations vary dramatically. The Oregon context study seems to agree with the six Thousand Series subtypes determined by the URS context study but disagrees with the URS study on the period of significance, eligibility requirements, and areas of significance. The distinctions between both historic contexts' findings created the basis for this thesis.⁸³

Period of Significance

The URS report defines the period of significance for Thousand Series post offices as starting in 1960 and ending in 1971. However, the standardization of all federal facilities, including postal facilities, under the GSA started in 1949. Congressional hearings on the use of the lease purchase program, which was necessary for the creation of the Thousand Series, started in 1952 and was implemented in 1954. The Oregon report notes that the Thousand Series period of significance starts in 1950 and ends in 1971. Both the URS and Oregon reports ended their context study in 1971 due to the reconfiguration of postal resources under the Postal Reorganization Act of 1970 which created the modern United States Postal Service. The reconfiguration did not stop postal construction, nor did it change design standards, meaning that the Thousand Series period of significance is potentially longer than was determined by the URS and Oregon historic contexts.

⁸³ The URS and Oregon reports refer to what they call a “period of significance.” Historic contexts/studies include time periods that best reflect their topic/theme, which is accurate. However, a “period of significance” is ‘when the property attained the significance qualifying it for National Register listing.’ (Bulletin 16, 42) This thesis will use “period of significance” when specifically referring to the URS and Oregon reports. Otherwise, this thesis refers to the period in which Thousand Series buildings were constructed as the “construction/use period”.

Classification and Definitions

The URS classifications of the Thousand Series subtype were determined based on the function of the building and specific building plans laid out in the *Building Design* brochure published by the Post Office Department and the GSA. Each subtype of Thousand Series post office serves a unique function in the new closed-loop postal network created as a means of streamlining mail distribution. Historically a main post office is “An office of the United States Post Office Department at which mail is received, sorted, dispatched, and distributed, and at which stamps are sold or other services rendered.”⁸⁴ The definition of main post office cited in the URS report is from dictionary.com. The issue with this description is that during the Thousand Series, it could be applied to any publicly accessible postal facility and is more applicable to a Thousand Series process and delivery centers than it is to main post offices.⁸⁵

During the Thousand Series period of significance, the main post office received mail presorted by ZIP code, which would then be distributed by local mail carriers. Any mail collected at a local main post office would be sent to the nearest process and distribution center which serviced main post offices 80 to 100 miles away.⁸⁶ After the process and distribution center sorted the mail it would then again be sent to a main post office determined via ZIP code. Process and distribution centers are publicly accessible postal facilities that have retail counters and post office box lobbies, meaning the definition used by the URS to define a main post office during the Thousand Series refers to contemporary process and distribution centers. Furthermore, the other subtypes in the URS report are not determined by dictionary definition but by function, square footage, and architectural features.

⁸⁴ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-2.

⁸⁵ The three publicly accessible Thousand Series subtypes are the main post office, the combined post office and federal building, and process and distribution centers.

⁸⁶ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-3.

Where the URS report is not specific enough on the distinction between subtypes, the Oregon context study argues that Thousand Series postal facilities should not be considered eligible for the National Register solely because they are a defined architectural type. However, from the research done to date, it is clear that the classification of architectural type is paramount in determining the significance of a Thousand Series post office as the type determines function—a critical factor in the design of Thousand Series post offices. The Thousand Series is a prime example of ‘form follows function’ as the postal facilities were designed with a specific function in mind. Moreover, process and delivery centers, vehicle maintenance facilities, and postal complexes are all postal facilities created during the Thousand Series period of construction, making the type significant even if the architectural style is common.

Area of Significance

Much like the period of significance, there is little consensus between the URS and Oregon’s report on what area of significance a Thousand Series post office should be nominated under. The URS report notes that a Thousand Series post office may be significant under Criterion A: community planning and development and Criterion C: Modernist/International style architecture (locally). The Oregon context study states that a Thousand Series post office might be eligible under Criterion A: Communication but only at the national level.⁸⁷ Furthermore, the Oregon context study argues that only the best examples of the Thousand Series post office type are eligible under Criterion C arguing:

⁸⁷ The URS reports found no examples of post offices constructed between 1940-1971 which were significant enough to be listed at the national level. Even the first completely mechanized post office was determined not to be eligible at the national level because none of the original machinery is still in place.

Criterion C Bulletin 13, written in 1984 and addressing Pre-World War II resources, offers that post office could be significant a (sic) building type. This assessment was made at a time when most communities had a single post office as a resource, when that post office was an independent operation entity, and when that post office played a significant symbolic local demonstration of the federal government. By the 1960s, postal buildings were decentralized into suburbs and neighborhoods in largely uninspired utilitarian structures and were no longer a stand-alone operation or even a distinctive entity in mail processing. Today, with 31,000 current postal structures, it is inappropriate that all would be eligible for listing based on mere association. For these reasons, the application of Criterion C must be cautious and designation confined to the best examples based on broad geographic scope and extensive comparative analysis.⁸⁸

In order to qualify for listing a Thousand Series post office in Oregon the building cannot just be associated with a specific design or style instead, it must "...be exceptional not common or vernacular."⁸⁹ However, this does not seem possible considering the Thousand Series post offices are all standardized via "Construction Requirements for Leased Postal Facilities" which had interior and exterior specifications for the design, plan and siting of postal facilities.

The Oregon report's stance on nominating a postal facility under Criterion C for its architectural type is somewhat confusing stating: "... it is not acceptable to designate building types on a local level of significance."⁹⁰ The justification is that post office plans and designs are determined at the national level, reproduced around the nation, and not architecturally unique enough to be considered significant. However, a few pages later the context notes "A single Thousand Series facility may be eligible under Criterion C statewide as a building type."⁹¹ Why would the Thousand Series type be eligible at the state level but not the local level and what features determine state-level eligibility compared to local-level eligibility? This is not clear in the Oregon study.

⁸⁸ Tess, "U.S. Post Office Department Facilities in Oregon, 1940 to 1971", 13-14.

⁸⁹ Tess, "U.S. Post Office Department Facilities in Oregon, 1940 to 1971", 15.

⁹⁰ Tess, "U.S. Post Office Department Facilities in Oregon, 1940 to 1971", 16.

⁹¹ Tess, "U.S. Post Office Department Facilities in Oregon, 1940 to 1971", 21.

Furthermore, the Oregon context study does not define what character-defining features or aspects of integrity are necessary for listing in the National Register. Instead, Oregon provided a list of the most eligible Thousand Series post offices and determined what aspects of integrity each resource had. Whereas the URS report does provide a baseline for what features a post office must have to be deemed eligible. URS determined that in order to be eligible for Criterion A: Community Planning and Development a Thousand Series post office must minimally contain

- Peripheral urban commercial location with easy vehicle access.
- Exterior entrances at street/sidewalk level with minimal landscaping strip.
- Patron and employee parking, loading dock and truck turn-around area.
- Clean lines and smooth surfaces expressed through glass and metal panels.⁹²

The aspects of integrity required for nomination under community planning and development are a combination of design, materials, workmanship, and setting which together should "...convey a feeling of and association with efficient business environments and be consistent with other commercial or office buildings..."⁹³ The URS report seemed to have minimal interest in determining what cultural landscape features were common during the Thousand Series period other than the post offices' relationship to parking and sidewalks.

In order to qualify for listing under Criterion C: Association with the International style of architecture a post office must have:

- Rectilinear modular components.
- Glass, metal panel, or masonry facing panels.
- Metal trim and framing of windows and entrance.
- Interior glass and panel wall separating post box lobby from public service counter lobby.
- Flat roof and metal trimmed eave or fascia.⁹⁴

⁹² URS, "Draft Report: USPS Nationwide Historic Context Study", 3-32.

⁹³ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-32.

⁹⁴ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-33.

The aspects of integrity required for association with international architecture are design, materials, and workmanship.⁹⁵ Under Criterion C there is no discussion of character-defining features aside from material and plan specifications and no aspects of cultural landscape features. Moreover, Thousand Series post offices post-1971 do not always include these minimal elements because of the use of commercial construction materials.

The URS report also notes that there is a subtype of Thousand Series Post office with applied Colonial Revival ornamentation but determined that since only four of the 37 design plates in *Building Design* are in the Colonial Revival style they are not eligible for the National Register.⁹⁶ However, even if the ornamentation is applied to a post office which would otherwise appear to be ‘modernist’ the inclusion of another style of Thousand Series post office in itself is unique illustrating the effort to try and blend modernist design into a historic context.

Furthermore, there appear to be far fewer instances of Colonial Revival Thousand Series post offices constructed making those that were constructed incredibly important to preserve. The Colonial Revival design plates from the *Building Design* brochure are included below.

However, the URS study only surveyed 7% or 98 post offices out of an identified 1,461 post offices constructed between 1940-1971. It is unclear from the methodology section of the URS report where the URS Group surveyed or what facilities were selected. However, primary source evidence from Postmaster General Summerfield indicates that by 1963 there were more than 4,300 Thousand Series post offices in the United States.

⁹⁵ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-31.

⁹⁶ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-33.

PLATE 42



UNITED STATES POST OFFICE
DESIGN FOR 4 000 SQUARE FEET GROSS AREA

PLATE 41



UNITED STATES POST OFFICE
DESIGN FOR 4 000 SQUARE FEET GROSS AREA

Figure 16: Colonial Revival Design Plate in Design Guidelines (Eisenhower Presidential Library, 1959).

Figure 17: Colonial Revival Design Plate in Design Guidelines (Eisenhower Presidential Library, 1959).

PLATE 21



UNITED STATES POST OFFICE
DESIGN FOR 2 000 SQUARE FEET GROSS AREA

PLATE 70



UNITED STATES POST OFFICE
DESIGN FOR 7 000 SQUARE FEET GROSS AREA

Figure 18: Colonial Revival Design Plate in Design Guidelines (Eisenhower Presidential Library, 1959).

Figure 19: Colonial Revival Design Plate in Design Guidelines (Eisenhower Presidential Library, 1959).

Table 2: Determined eligibility of Thousand Series facilities from the URS Group and Oregon Context Study including eligibility criteria, level of significance, character-defining features, and integrity (Haylee Rose).

Study	National Register Criterion eligibility	Level of Significance	Character-Defining features	Minimal Integrity aspects required
URS	Criterion A: Community Planning and Development	Local	-Peripheral urban commercial location with easy vehicle access -Exterior entrances at street/sidewalk level with minimal landscaping strip -Patron and employee parking, loading dock and truck turn-around area -Clean lines and smooth surfaces expressed through glass and metal panels ⁹⁷	-Design -materials, -workmanship, -setting -together should "...convey a feeling of and association with efficient business environments and be consistent with other commercial or office buildings..." ⁹⁸
URS	Criterion C: Modernist/International Style	Local	-Rectilinear modular components -Glass, metal panel, or masonry facing panels -Metal trim and framing of windows and entrance -Interior glass and panel wall separating post box lobby from public service counter lobby -Flat roof and metal trimmed eave or fascia. ⁹⁹	-design -materials -workmanship
Oregon	Criterion A: Communication	National	None Defined	None Defined
Oregon	Criterion C: Modernist/International Style	State (Only one from the state can be listed)	None Defined	None Defined

⁹⁷ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-32.

⁹⁸ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-32.

⁹⁹ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-33.

Thousand Series Description

This section provides this author's working definitions of the Thousand Series period of significance, associated property types, and character-defining features for the rest of the thesis and begins to discuss the Thousand Series cultural landscape features.

Period of Significance

This author's suggested period of significance for the Thousand Series is not the same as the URS survey or the Oregon survey. The proposed period of significance for this study starts in 1952 with the Congressional hearings on the lease purchase program just two years before Thousand Series construction officially started. Even if there are not any of the earliest examples of the Thousand Series (1952-1954) in the state of Kansas, the enabling legislation for the lease purchase program must be considered the start of the period of significance. Both the URS and Oregon context studies ended in 1971 when the United States Post Office Department transitioned to the United States Postal Service. The construction of Thousand Series facilities did not end in 1971; there is no survey data to suggest whether the Thousand Series construction stayed largely the same or if the restructuring of the department changed postal construction. From this research, there appears to be an architectural shift in postal facilities constructed circa the 1980s and 1990s, which should be evaluated against Thousand Series construction from 1954-1971 to determine whether these facilities also fall under the Thousand Series umbrella; therefore, this thesis research ends in the year 2000. The end date for developmental/construction has yet to be determined but could be considered 1975, seeing as all post offices constructed in or before 1975 are 50 years or older meeting the National Register eligibility requirements. However, it is important to note that postal facilities constructed in the 1980s and 1990s might not yet meet the 50-year eligibility requirement for the National Register,

but their significance should be evaluated to ascertain the broad impact the Thousand Series building practices had on the state and its postal networks. A true end date for the Thousand Series period of significance can only be determined post-survey and data analysis.

Associated Property Types and Character-Defining Features

Although URS defines six distinct subtypes of Thousand Series construction this thesis will evaluate only three of the six subtypes: main post offices, process and distribution centers, and combined federal office buildings. This is not to say that the other subtypes under the Thousand Series umbrella, like vehicle maintenance facilities, postal annexes, and postal complexes, are not vital to the functionality of the emerging postal network created by the Thousand Series, but they are not publicly accessible buildings, making the evaluation of their significance nearly impossible.

The first subtype evaluated is the traditional main post office constructed from 1954 onward. Based on the research to date, the main post office is a one-story building between 1,000 and 12,000 square feet with a rectangular or square massing. Most have flat roofs, although later Thousand Series main post offices occasionally have front-gabled roofs. The exterior of the main post office is typically clad in a brick or stone veneer with large aluminum picture windows. Many of the smaller International-style main post offices have aqua or red-colored windows. The interiors have 24/7-hour box lobbies with public service counters behind a glass partition wall. Most of the parking for many of the main post offices is street parking in front or on the side of the post office. Some larger main post offices in central business districts have drive-through mail drop-offs but a majority have snorkel mailboxes on the sidewalk outside the post office or no outside mailbox present.

The second postal facility assessed is the process and delivery center (P&DC), which were constructed and occupied from the 1960s onward. Located in industrial or institutional areas the P&DCs are somewhere between 30,000 to 350,000 square feet and can be one to four stories tall with flat roofs. The exterior of the building can be clad in a variety of materials, including metal sheeting, brick veneer, and stucco veneer. The process and distributing centers also have large aluminum picture windows, but some of the more contemporary structures also have decorative glass block windows. The process and distribution centers all have drive-through mail drop-offs and large customer parking lots in front of or to the side of the post office. In addition to large customer parking lots, the process and distribution centers have multiple trucking bays to the side or rear. All P&DCs have a public service counter, usually behind a glass partition wall, and a 24-hour box lobby.¹⁰⁰

Federal buildings with post offices were commonly constructed during World War II and the years immediately following until about 1968. The federal building and office type either emphasize their use as a post office with federal office space or are designed first and foremost to represent the monumentality of the federal government but just happen to have an associated post office. The URS study notes in their conclusion that “Government buildings that were associated with monumentality now appeared more monolithic with their flat, continuous, unembellished surfaces that may seem to represent impersonal bureaucracy or an expression of economy and efficiency.”¹⁰¹ During this period the federal government was trying to invest less in the construction of federal buildings resulting in buildings with multiple functions. The combined post office and federal building tended to be more architecturally distinct with more ornamentation than typically seen in the Thousand Series as “The Combined Federal Building

¹⁰⁰ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-38-3-39.

¹⁰¹ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-48.

and Post Office...represents a historic period when the post office was very much a part of the large and expanding federal government, rather than an individual agency.”¹⁰² As a result, the combined federal office building and post office were not constructed past the reconfiguration of the postal service which led to the quasi-independent USPS. However, the combined post office and federal buildings are often located on the periphery of the downtown and still serve as decorative federal buildings. The character-defining features of the subtype are defined by the inclusion of a service lobby, monumental presence, division of function, substantial parking, and a clear delineation of space.¹⁰³

Character-defining features

Both cultural landscape features and elements of architectural style are considered character-defining features. A character-defining feature is a physical feature of a historic property that conveys the property's historic use or historic significance. Character-defining features are most often associated with National Register Criteria C: Architecture; they are traditionally understood as the design aspects typical of a particular type or style of building or landscape. However, cultural landscape features can also be character-defining features that prove the continuity and change in the post offices spatial relationship to the community over time.

A cultural landscape is the relationship between a building and a landscape. Cultural landscapes are evaluated by many characteristics including natural systems and features, spatial organization, land use, circulation, cultural traditions, topography, vegetation, cultural arrangement, buildings and structures, views and vistas, constructed water features, archeological

¹⁰² URS, “Draft Report: USPS Nationwide Historic Context Study”, 4-3.

¹⁰³ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-3.

sites, and small-scale features.¹⁰⁴ Cultural landscape features are evidence of historic thought processes or patterns that can illustrate why the property exists and possibly its significance and integrity.¹⁰⁵ Post offices are one example of a cultural landscape as post office sites are selected to maximize efficiency in mail delivery. During the period of construction, defined by the state of Oregon historic context study, (1950-1971), Thousand Series Post Offices moved out of downtown areas and into commercial and industrial spaces making the post offices' relationship to the surrounding resources important. The cultural landscape features of the Thousand Series post offices have not been identified in other context studies but include: the building's relationship to the street, type of parking lot, number of parking spaces, flag poles, street furniture, and drive-through mailboxes. The inclusion of potentially significant cultural landscape features provides supporting evidence for the age and type of postal facility.

Key Findings/Takeaways

In this chapter, the history of the United States Postal Service from its inception to 2000 has been covered with great emphasis placed on the external factors which led to the creation of the Thousand Series post office type. Post evaluation of the historic context of post offices a crash course on the National Register was offered before discussing previous efforts to document and nominate New Deal and Thousand Series post offices to the National Register. Finally, this chapter has provided this author's working definition, period of construction, and known

¹⁰⁴ United States Department of the Interior, *National Park Service, A Guide to Cultural Landscape Reports: Content, Process, and Techniques*, Washington, DC, 1998, <https://irma.nps.gov/DataStore/DownloadFile/501621>.

¹⁰⁵ United States Department of the Interior, National Park Service, *National Register Bulletin 18: How to Evaluate and Nominate Designed Historic Landscapes*, Washington DC, 1987, <https://www.nps.gov/subjects/nationalregister/upload/NRB18-Complete.pdf>.

character-defining features for the three Thousand Series subtypes evaluated in the case study section. However, the four research questions posed in Chapter 1 included:

- What are the character-defining features of Thousand Series Post Offices?
- What is the period of significance for Thousand Series Post Offices? Are there distinct building phases whose types and styles differ or are post offices of the 1980s and 1990s different due to the modernization of construction materials and techniques?
- What are the National Register criteria for state-level and local-level significance of Thousand Series Post Offices?
- What are the nuances of aspects of integrity for state or locally significant Thousand Series Post Offices?

The character-defining features laid out by the other historic contexts provides a jumping off point for features to look for in the Kansas case studies however, with such a limited scope from both historic contexts, can the character-defining features determined by each be applied to the Thousand Series in Kansas? Would the character-defining characteristics be the same or are there regional differences depending on variable factors like population size, regional building materials, or period of construction? Little attention was given to cultural landscape features which accompany the Thousand Series and led to questions surrounding what cultural landscape features should be expected at a Thousand Series facility and if they can they be considered character-defining features? The six different architectural subtypes determined by the URS report begins to answer state and local National Register eligibility for the Thousand Series type; however, the Oregon context study ignores the type of facility which led to the author's questions about whether the Thousand Series post office subtype should be considered a basis for eligibility. If so, what are the character-defining features of those subtypes?

Background research has provided a solid answer for a beginning of period of construction/evaluation starting in 1954. However, the end date for this period must be

determined based on architectural congruity determined via the case studies as there is little primary or secondary research on the design guidelines of post offices constructed post-1970. Furthermore, the lack of consensus on the period of significance between the URS report and the Oregon report begs the question: does the period of significance for the Thousand Series differ based on the state? If so, what is the period of significance for the Thousand Series in Kansas? The subject of integrity was broached by both the URS report and the Oregon report and provides the bare minimum level of integrity a Thousand Series post office must have in order to qualify for listing on the National Register.

The remaining questions which have not been answered by background research thus far will provide guidance on how to conduct and analyze the data of the case studies in the remaining chapters.

CHAPTER 3

CASE STUDY METHODOLOGY, SELECTION AND DESCRIPTIONS

Building on the findings of Chapter 2, this chapter intends to answer questions relating to period of significance, construction trends in the Thousand Series, and character-defining features not sufficiently addressed previously. To address the unanswered questions, case studies in Kansas will be used to further refine character-defining features and justification for a period of significance. This chapter also explains how case studies were selected and surveyed, as well as general findings based on the Thousand Series subtype, construction date, and population data.

Case Studies as a Valid Research Methodology

Case studies capture quantitative and qualitative data which can assist in answering the remaining research questions. Case studies can be used to describe, evaluate, and explain trends in historic architecture to make "...concrete what are often generalizations or purely anecdotal information about projects or processes."¹⁰⁶ Evaluating Thousand Series post office construction trends throughout Kansas, a series of character-defining features and an end date for the period of significance may be determined.

¹⁰⁶ Mark Francis, "A Case Study Method for Landscape Architecture," *Landscape Journal*, Vol. 20, Issue 1 (March 2001), 15-29, <https://www.lafoundation.org/sites/default/files/2019-01/lj-casestudymethod-francis.pdf>, 15.

How the Previous Thousand Series Context Studies Informed Current Survey Methodology

The survey methodology used by the URS had Secretary of the Interior Standard trained architectural historians define the character-defining features for the Thousand Series based on evidence from Google Maps before selecting their case studies. Those case studies which were selected were no more than a day's drive from a URS office and they were judged against the most 'highly representative property type'. The survey process was completed in many instances by non-cultural resource management-trained employees in one of URS's many satellite offices around the nation. The Oregon historic context study did not provide a survey methodology nor did either context study include a survey form. Therefore, the methodological gaps to be addressed include trained cultural resource management persons, a predefined survey form used at all facilities, and a higher quantity of surveyed resources in a smaller geographic scope.

As a result of the gaps in the methodology of the other two surveys, this study has tried to ensure that as many postal facilities in Kansas constructed between 1950-2000 were identified and a larger percentage surveyed across the state. A survey form was created specifically for this study and can be seen in Appendix B. Many of the post offices selected in the state of Kansas were further than a day's drive. Definitive character-defining features will be established based on data analysis compiled after the survey process has been completed.

Case Study Selection Criteria

Building on the Thousand Series research completed by the URS Group and the Oregon State Historic Preservation Office led by Architectural Historian John Tess, the following six criteria were established by the author to select case study postal facilities for this thesis:

1. Located in the State of Kansas

2. The building's ability to convey its association with one of the three publicly accessible Thousand Series sub-types determined by the URS study,
3. Geographic distribution throughout the state
4. Location reflects Thousand Series goal of ease of access via automobile/proximity to suburban areas or the highway
5. Population size
6. Use of the lease purchase program, and architectural congruity with *Building Design* brochure (1959/1964) or *Family of Standard Buildings* (1983)

Located in the State of Kansas

The state of Kansas was chosen for two reasons –it is historically and geographically distinct from Oregon, the only other state-wide survey of Thousand Series post offices, and it is the author's home state hence a familiarity. The differences between Kansas and Oregon mean this study can apply the previously determined period of significance, significance criteria, and character-defining features established by the previous historic contexts to determine if those factors are applicable in geographically dissimilar areas.

The building's ability to convey its association with one of the three publicly accessible Thousand Series sub-types determined by the URS study

The Thousand Series has six subtypes, however, only main post offices, combined post office and federal buildings, and process and distribution centers are publicly accessible, hence are the focus of this case study research. The URS report defined the subtype of a Thousand Series post office based on function and square footage. A main post office collects and distributes the mail as well as provides retail service. The square footage of a main post office

can range between 1,000 and 12,000 square feet.¹⁰⁷ The combined post office and federal building has the same responsibilities as a main post office but with added office space for other federal departments. Unlike many main post offices, combined post office and federal buildings have more ornamentation compared to a traditional Thousand Series post office. The combined post office and federal building can be multiple stories but the URS report did not determine the number of square feet typical of the subtype. Process and distribution centers function similarly to main post offices as they provide retail service, but the distribution centers also receive mail from main post offices 80-100 miles away which is then sorted and sent back to main post offices to be distributed.¹⁰⁸ Process and distribution centers can be multiple stories and are typically between 30,000 to 350,000 square feet.¹⁰⁹

Geographic distribution throughout the state

A concerted effort was made to select post offices throughout the state of Kansas. A wide sampling was necessary to assess if the Thousand Series was more prevalent in some parts of the state and less in others. Moreover, the large geographic scope allowed the study to assess if the Thousand Series design was altered regionally.

Location reflects Thousand Series goal of ease of access via automobile/proximity to suburban areas or the highway

Accessibility via automobile played a large role in the location of Thousand Series post offices. Emphasis was placed on locating new post offices near suburban developments or highly frequented roads in suburban or industrial areas to accommodate new shipping methods, higher volumes of mail, and the consumer car culture of the 1950s and 1960s. In urban areas, the post

¹⁰⁷ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-36.

¹⁰⁸ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-38.

¹⁰⁹ URS, "Draft Report: USPS Nationwide Historic Context Study", 3-39.

office needed to be conveniently accessible via car or a short walk from a nearby suburb, which heavily influenced their siting and landscape. Using ease of access as a selection criterion meant that the only facilities eligible for survey as part of this study are publicly accessible subtypes like main post offices, post office and federal buildings, and process and distribution centers which can all be accessed by patrons.

Population size

The construction of new Thousand Series post office subtypes is determined by the yearly sum of postal receipts however this data is not publicly accessible. As a substitute for postal receipts this survey incorporated the population size of the selected postal facility in an effort to draw parallels between population size and Thousand Series subtype. The population was assessed based on the population in the decade the post office was first constructed and the population as of 2020. The population of the selected case studies, when they were originally constructed, ranges from towns as small as 286 citizens to more urban cities whose populations are as large as 304,017 citizens.

Use of the lease purchase program, and architectural congruity with the *Building Design* brochure (1959/1964) or *Family of Standard Buildings* (1983)

The case study sites should reflect the Postal Department and GSA's primary source brochure *Building Designs* distributed in 1959 and reissued in 1964, as possible. The hope is that the survey findings fully corroborate the character-defining features and historic trends of Thousand Series construction established by the URS and Oregon context studies, but also possibly reveal any subtleties. The design of the Thousand Series post office in *Building Designs* emphasized the site, building plan, and building layout with little to no guidance on exterior finishing or materials. The selected postal facilities should bear some exterior similarities, not

due to strict design standards but because many facilities were constructed by similar contractors who used the same economically efficient materials.¹¹⁰ Because the Thousand Series and federal modernist architecture represent a then-contemporary commercial type, the construction emphasized the need to build new facilities in an economically efficient manner. As a result, most of the architectural ornament on Thousand Series post offices comes from a variety of common commercial materials like different colors and sizes of brick, local limestone, concrete, metal, and vinyl or asbestos siding.

Case Study Selection Methodology

With the selection criteria defined, the first step of the case study methodology was to determine the locations and subtypes of post facilities in the state of Kansas. The URS study had found fewer than 40 postal facilities constructed in the state between 1940-1971 but did not provide the location of those facilities (Figure 20). Secondary research had already proven that the Thousand Series construction boom happened across the United States and would indicate there were more than 40 post offices



Source: URS

Figure 1-5: Distribution of USPS Facilities 1940 – 1971 by State

Figure 20: Graph of state distribution of the 1,461 post offices constructed between 1940-1971 (URS, 2012).

¹¹⁰ Some postal facilities are the exact replicas of sketches featured in the *Building Design* brochure, but it was not a requirement of the lease-purchase agreement.

constructed in the New Deal and the Thousand Series construction boom of the 1960s. Therefore, to identify Thousand Series post offices in the state the author started by looking for post offices submitted to the Kansas State Historic Preservation Office for national, state, or local National Register eligibility determination, which can be found in the Kansas Historic Resource Inventory (KHRI). There were 18 Thousand Series post offices considered potentially eligible, pending more information about their historical significance. After consulting KHRI, the author consulted the USPS list of all postal facilities constructed or leased in the state of Kansas, which proved to be more cumbersome than helpful as none of the 506 currently leased postal facilities have dates for their construction. However, a book published by Robert W. Baughman titled *Kansas Post Offices: May 29, 1892-August 3, 1961*, provided a general geographic sense of post office distribution and a basic understanding of postal construction booms in the state.

After having determined the general geographic distribution the term “Post Office” was searched on Google Maps. Each of the post offices found was then compared to the character-defining features established by the URS study and background research done in Chapter 2. Once a facility was determined to be architecturally consistent with the Thousand Series, deed research was done using each county’s tax assessor parcel search website to cross-reference the construction date. Unfortunately, this means there is no exact number of Thousand Series postal facilities constructed in Kansas between 1954-2000, but more than 100 facilities were found.

Considering the goal of this study is to assess the entire state so that this research may one day be turned into a statewide context study, geographic location was further researched. First, a historic primary source map of the Kansas postal distribution system published in the publication *Postal Progress* in 1968, and a 2023 map of Kansas population density in each county was referenced. The *Postal Progress* map illustrated the distribution networks in Kansas

created by the Thousand Series, which had process and distribution centers located in large metropolitan areas of the state. The process and distribution centers receive, and sort mail before then sending the sorted mail to smaller main post offices constructed with the lease purchase program (Figure 21).¹¹¹ Many but not all of the locations shown on the Postal Progress map were surveyed as part of this study. Those locations not surveyed like Salina, Hutchinson, and Dodge City either still operated out of a modernized PWA post office or were a duplicate design surveyed elsewhere in the state.

The population map of Kansas also aided in case study selection; there are more postal facilities in densely populated areas of the state (Figure 22). The eastern portion of the state has a larger population; therefore, more processing and distribution centers located in suburban areas like Kansas City, Wichita, and Topeka. Whereas, the central and western parts of the state have far fewer distribution centers due to a decreased density. The population imbalance between the eastern and western portions of the state explains the disparity between the number of Thousand Series facilities constructed, as a result, more emphasis was placed on surveying Thousand Series post offices in eastern Kansas.

¹¹¹ Facilities which sort mail tend to be owned by the USPS, and lease-purchased facilities tend to only be main post offices.

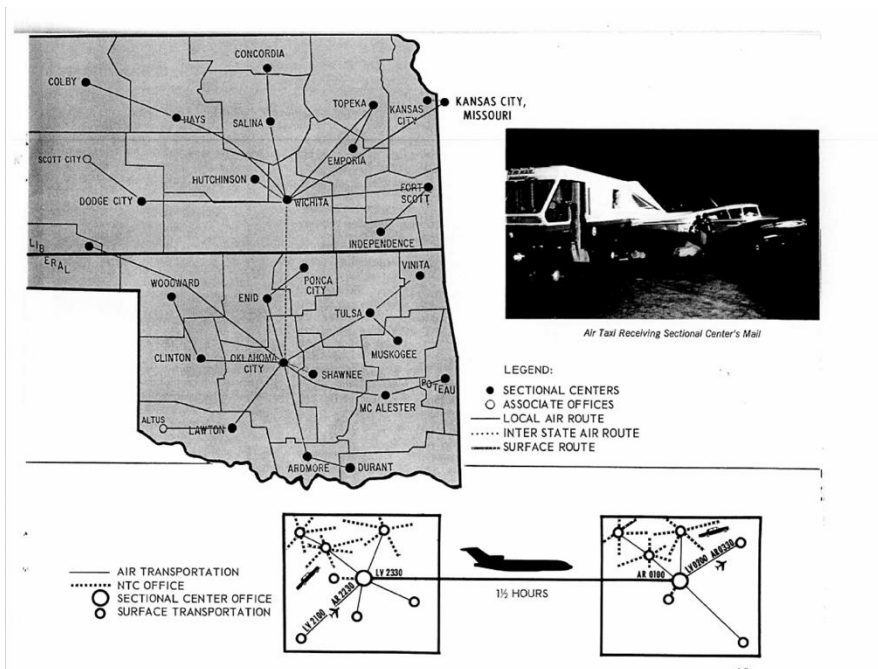


Figure 21: Map of the new postal distribution system. Process and Distribution Centers receive and supply mail from Main Post Offices 80-100 miles away before sending the sorted mail back to main post offices creating a closed loop mail processing network. (United States Postal Department, 1968).

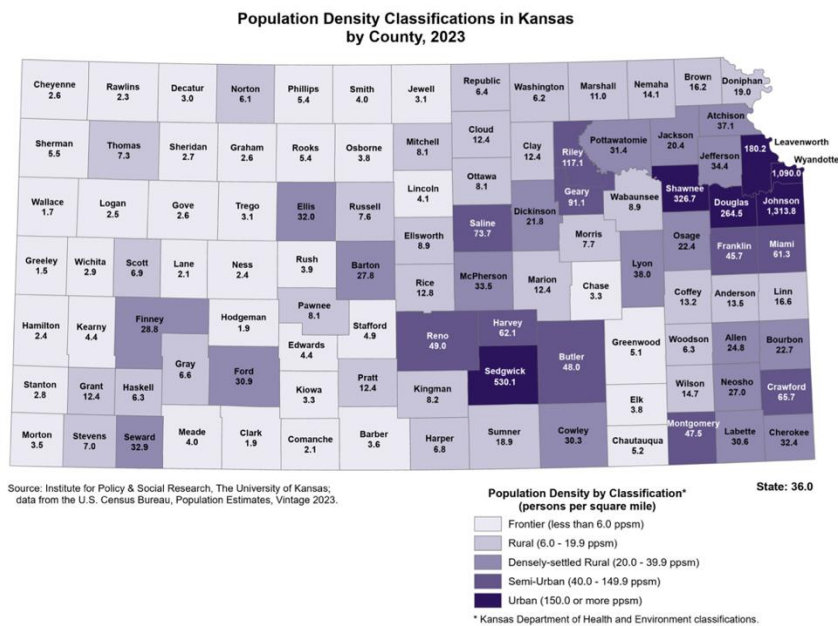


Figure 22: Population map of Kansas by county illustrating the population disparity between eastern and western Kansas. (University of Kansas, 2023).

One of the primary critiques of the URS context study was the limited number of facilities surveyed—URS surveyed 98 of 1,461 properties constructed between 1940-1971—just 7% of all Thousand series buildings constructed. Considering the sheer number of Thousand Series facilities constructed in the state of Kansas alone the estimated 1,461 identified properties which include Public Works Administration facilities and Thousand Series facilities seems low to provide enough data to make definitive statements about the National Register period of significance, character-defining features, and area of significance. Hence, for this study, it was critical to choose several Thousand Series post offices throughout the state that would truly represent the diversity of Thousand Series, including the different character-defining features of different subtypes, population disparity, and the phase of Thousand Series construction. Forty-five out of an identified 125 post offices were chosen for this case study representing 36% of the easily identifiable Thousand Series facilities in the state of Kansas. Thirty-six percent was deemed to be a statistically relevant number that could illustrate the period of significance and character-defining features of Thousand Series post offices in the state of Kansas.¹¹² Each of the selected Thousand Series postal facilities is architecturally distinct, meaning no exact duplicates were selected.

Having used the Kansas postal distribution map and historic/contemporary population maps to determine general regions in the state to survey, the preliminary research also assisted in addressing the criteria of post office accessibility/proximity to suburban areas or highways. Most of the selected postal facilities are easily accessible by national, state, or county highways illustrating the implementation of the Thousand Series' new delivery methods. Due to the nature

¹¹² There are likely more than 125 Thousand Series Post Offices in the state of Kansas. However, the time constraint of the study and the lack of published information from the USPS meant only 125 were identified. Future studies might pinpoint the exact number of Thousand Series facilities in the state.

of that new postal distribution system which prioritized the proliferation of main post offices, emphasis was placed on surveying more of the main post office subtype as compared to all of the process and distribution centers.¹¹³ There were very few combined post office and federal buildings found in the identification phase, meaning all identified combined post office and federal buildings that were not duplicates were surveyed. Emphasis was placed on surveying process and distribution centers identified in *Postal Progress*; however, as the scope of this study goes beyond 1968, new process and distribution centers were created with different character-defining features. Therefore a mix of process and distribution centers from 1960-1975 and 1976-2000 were surveyed. The use of the lease purchase program and architectural congruity would be confirmed during the survey work.

Selected Case Studies

The forty-five post offices selected for survey, in alphabetical order, are located in:

Andover	Great Bend	North Newton
Baldwin City	Howard	Olathe
Bonner Springs	Independence	Olathe, East Station
Burrton	Kansas City	Overland Park
Cimarron	Lawrence, Downtown	Peru
Colby	Lawrence, Jayhawk	Phillipsburg
Cottonwood Falls	Station	Pomona
Edgerton	Leavenworth	Scott City
Elk City	Lenexa	Sedan
Emporia	Liberal	St. John
Frankfort	Lincoln	Tescott
Garden City	Maize	Topeka, Pauline Station
Garnett	Manhattan	Wamego
Glasco	Mankato	Wichita, Downtown
Goddard	Minneapolis	Wichita, River City Station

¹¹³ Process and Distribution centers also are modernized quite frequently meaning many were constructed after the scope of this study.

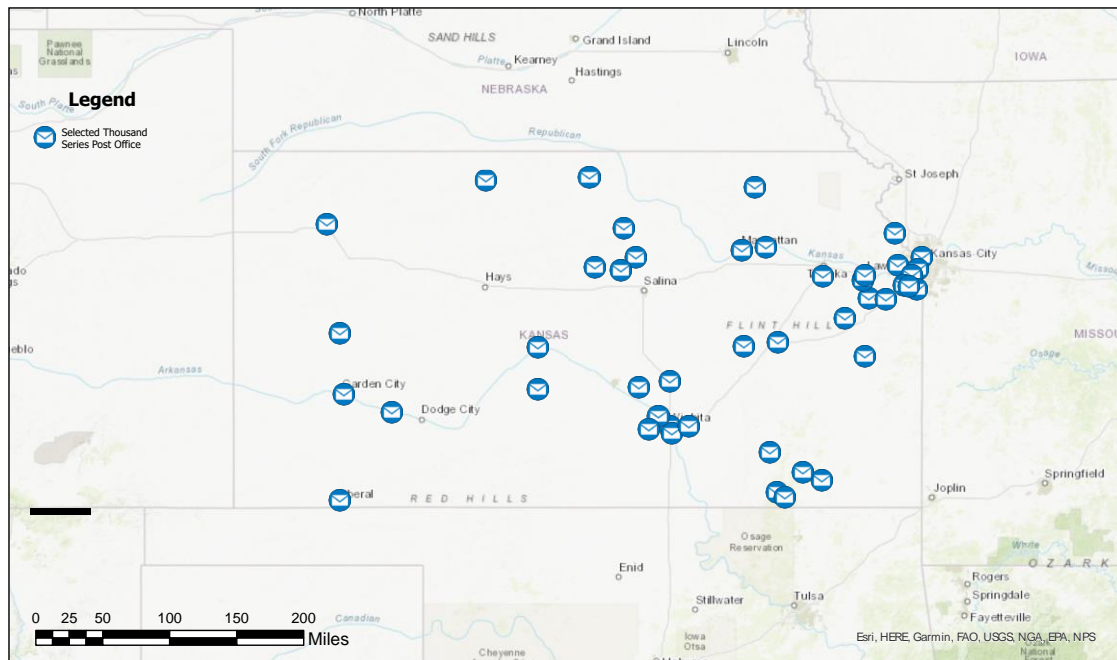


Figure 23: Graphic representation of surveyed Thousand Series post offices in Kansas (Haylee Rose, 2025).

Case Study Survey Form and Process

After case studies were selected a survey form was created to ensure the same data was collected from each facility. The survey form can be found in Appendix A. The data fields of the survey form start with generalized information and funnel into Thousand Series specific questions. The data collected in the survey form included a combination of architecture and site character-defining features from the URS and Oregon report, as well as features found in *Design Guidelines*. This section will explain how the survey form was filled out and what type of information was gathered in the field.

The first portion of the survey form included general information such as the

- name of each post office,
- address,
- population size when the post office was developed vs. the current population,
- type of resource,

- building square footage,
- current and original use of the property,
- date of construction (known or approximate),
- major changes (if so what type).

The data fields filled out before the site visit were official name, address, population size, building square footage, and year constructed. The official branch name of the post office was determined by entering the city name into the USPS location search website which provided the official name and address of each post office.¹¹⁴ The population data was all sourced from the University of Kansas’s “Population of Cities in Kansas, 1900-2020”. The population data was done in decades; therefore, if a post office was constructed between 1960-1969. then the population for the year constructed is from the 1960 data, and all current population data is from the year 2020.

As part of the presurvey work, the date of construction for the selected post offices was already known from determining the number of Thousand Series facilities in the state of Kansas. However, if in the field the selected postal facility had a dedication plaque that differed from the tax assessor data then the year of construction was changed to match the dedication plaque.

The building square footage was determined via the USPS list of leased and owned facilities by state which can be found on the USPS website page under “USPS Leased Facilities” and “USPS Owned Facilities”.¹¹⁵ The information provided for leased and owned postal facilities is not the same; therefore, leased facilities have square footage for both the site and building. Whereas, the list of owned facilities only provides one number for square feet but does not clarify if it is the site or the postal facility. After comparing square footage from the USPS list to

¹¹⁴ The website used can be found at <https://tools.usps.com/locations/>.

¹¹⁵ The webpages used are <https://about.usps.com/who/legal/foia/leased-facilities.htm> and <https://about.usps.com/who/legal/foia/owned-facilities.htm>.

the tax assessor’s data, it was determined that number provided by the USPS is the building’s square footage.

The defined property-type of “building” was determined via application of *National Register Bulletin 15*; in the case of Thousand Series postal facilities, all were considered buildings as they meet the definition described by National Register guidance.

All of the surveyed post offices were currently used as post offices and there was no evidence that would indicate any of the selected facilities were once used for another purpose, as many if not all were constructed using the lease purchase program. Currently, 19 of the surveyed Thousand Series facilities are owned by the USPS and the other 26 facilities were constructed using the lease purchase program and continue to be leased.¹¹⁶ Major changes were assessed on site and determined based on physical evidence remaining on the structure. Little to no alterations to the structures were apparent.

All of the remaining survey fields were completed in the field and included:

- bullet point description of elements of architectural style
- narrative description of the structure including envelope shape
- general building size
- window placement or ornamentation
- plan shape
- type of massing
- number of stories
- determination of symmetry
- number of entrances
- type of doors
- roof type
- roof materials
- exterior materials
- window type
- outbuildings
- landscape features
- parking type
- number of parking spaces
- number of entry walkways
- walkway features
- setting
- type of surrounding road from KDOT road hierarchy
- description of surrounding resources
- Thousand Series subtype,
- type of Thousand Series lot determined in *Design Guidelines* (1959)
- any additional notes or physical descriptions

¹¹⁶ Deed research on all 45 post offices was not possible meaning it is currently unknown how many post offices are now owned by the USPS utilized the lease purchase program.

A majority of these fields have multiple options to choose from and the surveyor need only select a pre-identified choice.

Elements of architectural style is a narrative description which is intended to be filled out with any exterior or interior ornamentation that would prove association with a particular architectural style. Since the modernist style does not have as much decorative ornamentation as other architectural styles this field could be infilled with symmetry, massing, construction material, indication of colored window panels or tiles, decorative uses of concrete or generally any notable feature which are often associated with a style.

Whereas the *narrative description* of the structure might include any drawing or diagram of the post office shape, notes on the size or layout of the post office, drawings of a particularly unique window type or shape, notes on window placement, and general descriptors of the structure. This section and the elements of the style section are intended to be a catch-all for any abnormalities or information not captured in the other data fields.

Plan shape is another field that is written in and can be seen at the site or via aerial imagery. If aerial imagery was used it was sourced first from the individual county's tax assessor website but if the tax assessor did not have an aerial image, then Google Maps was utilized. Any aerial photographs used were the most recent and a screenshot was taken of the entire block. Potential entries for this field include rectangular, square, 'L' shaped, 'T' shaped, or any other description that can provide an accurate visualization of the building's envelope.

The *building's emphasis* is determined from three pre-identified selections, which include vertical, horizontal, and balanced. The International style specifically emphasizes horizontal

planes; therefore, this data field is intended to screen for Thousand Series facilities, which might have drawn influence from that architectural style.

The *number of stories* ranges from one story to three stories with an ‘other’ selection if necessary.

Entrance façade asks the surveyor to determine if the building front elevation is symmetrical or asymmetrical seeing as many but not all Thousand Series facilities embrace asymmetry which might correlate to the imitation of the modernist architectural style.

The *number of front entrances* and the type of doors are a combination of pre-identified selections and narrative descriptions. Many of the selected postal facilities are located on corner lots and have the opportunity to have multiple entrances. The type of door is asking the surveyor to note the material of the door as well as the type of door. For example, some newer post offices have automatic doors whereas others have aluminum push/pull doors.

Roof types have multiple pre-identified selections and include option like front gabled, flat, and hipped. Along with roof type is roof material and covers the most common commercial roofing materials such as asphalt shingle, and different types of metal roofing.

Exterior materials consist of a list of the most common modernist construction materials. Considering many of the Thousand Series post offices usually have more than one primary construction material multiple selections in this field are allowed. Many of the same construction materials are repeated with different stone finishes or types of brick bonds. Limestone is the only type of stone included on the survey form as it is a regional material specific to Kansas.

Window type is specific to window operation, any design or ornamentation notes should go in the elements of style or description of structure fields. Multiple selections are encouraged in the window-type category.

Outbuildings are occasionally hard to assess considering many postal facilities have gates and fences surrounding the side and rear of the post office. Note any potential storage, trash areas, fences or other structures surrounding postal resources.

The *landscape* category is similar to outbuildings and asks the surveyor to determine if the surrounding landscape appears to be casual/unplanned or highly designed. After selecting one of the two broad categories, there are other options for types of landscape features which might include street or shade trees, foundational plantings, lawn, planters, or other features which should be noted.

Landscape features include small-scale features like flagpoles, mailboxes, wayfinding, benches, newspaper stands or other small features which are present at the site. The landscape features section asks the surveyor to choose from the list of predetermined features. If a feature is not listed then 'other' can be selected with a written in feature.

Parking type and number of parking spaces are also assessed. Many Thousand Series post offices include ample parking as the automobile was particularly important during the period of significance. As such, the surveyor must identify if the parking for the post office is street parking, a side lot, drive-through mail drop-off, front lot, rear lot, or other types of parking accommodation. Multiple lots and parking types may be noted. Once the type of parking has been assessed, the number of spots should be counted. If there is street parking note any time limits and parking meters.

The *number of entry walkways* determines how many ways the post office can be approached via the sidewalk. For example, a post office on a corner lot can probably be approached from two sides. A number is filled into the survey form and any additional notes are

applicable. Combined with a number of walkways are walkway features such as steps, ramps, railings, curb cuts, crosswalks, or other features that lead to or are used to access the post office.

The *frontage road* asks the surveyor to determine the type of road in the hierarchical road classification system. Road classifications were determined based on the hierarchy chart provided by the Kansas Department of Transportation. This data field is important considering new methods of mail transportation via semi-truck require access to major highways and wide roads.

Setting and surrounding resources go together and are used to identify the environment immediately surrounding the post office. The surveyor may choose between urban, suburban, and rural settings and residential, commercial, industrial, and mixed-use for surrounding resources. These fields are immediately followed by a description or context of the surrounding environment which might provide insight into why a post office was sited where it was.

The last two fields are Thousand Series specific and require the surveyor to determine the subtype of Thousand Series post office based on the evidence collected above. Only the main post office, process and distribution center, and combined post office and federal building are provided on the survey form. The next field is Thousand Series lot type which is determined in *Building Designs* (1959) and the surveyor may choose between the four lot layouts A through D. If the lot does not appear to fit any of the predetermined lot layouts ‘other’ may be selected and narratively described for further research.

Survey Process

The survey process was done during two periods. Nineteen post offices were surveyed between June and August of 2024, on three non-consecutive days, and focused on the northeast and southeast portion of Kansas going as far south as Wichita (represented in blue in Figure 24).

The remaining 26 post offices were surveyed in five days during December and January of 2024 and 2025. The remaining post offices were located in central and western Kansas (represented in red in Figure 24). A majority of the post offices were accessed via county highways and local roads. The most efficient map routes were planned in Apple ‘Maps’. For each day of the survey, the goal was to document at least five post offices which was relatively successful.

After all, 45 post offices were surveyed an Excel spreadsheet was created for data compilation and contains a cell for each entry on the survey form.

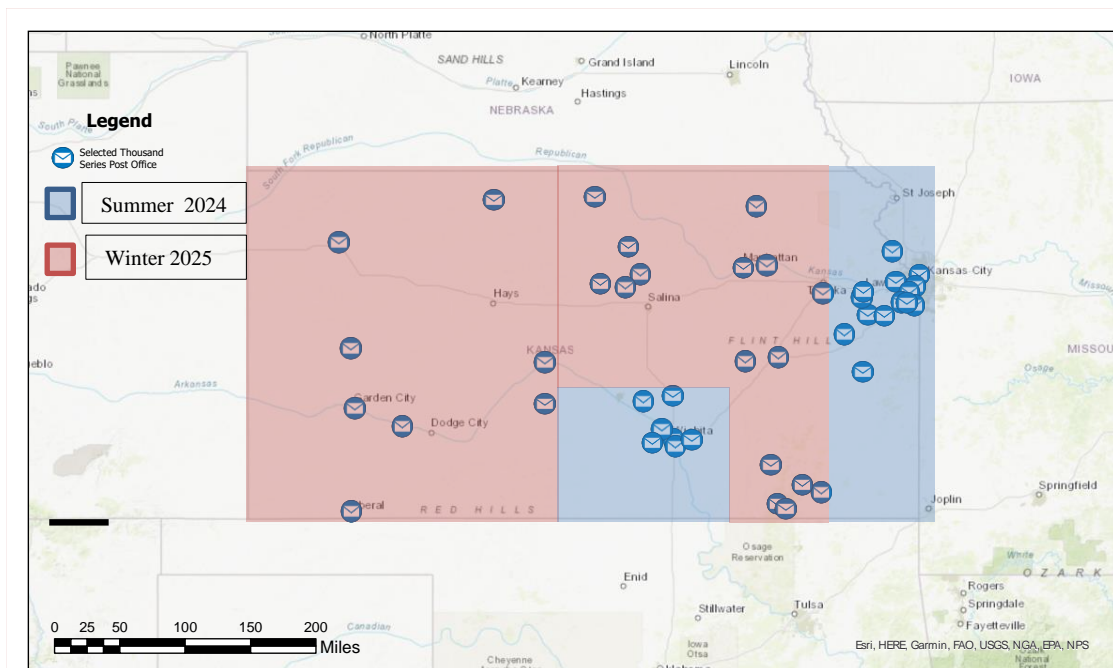


Figure 24: Graphic representation of surveyed Thousand Series post offices in Kansas broken down based on when they were surveyed (Haylee Rose, 2025).

All 45 post offices were surveyed with a hard copy paper form and all photographs were taken via iPhone and included the front elevation, an oblique from each side, and as much detail of the rear as possible without trespassing. The survey form was filled out while walking the perimeter of the property to take photographs of each elevation. Once the exterior photographs were complete interior photographs were taken from all four corners of the box lobby. The service counter of most Thousand Series post offices is separated by a glass partition wall, which

was photographed in most instances, so long as pedestrians were not in line for postal services. All photographs tried to expressly avoid photographing individuals but in some cases was not possible. The photographing and survey form took around 15-20 minutes for each postal facility. The data and photographs collected from each site visit were labeled post-site visit. A narrative description of the data collected from each of the 45 selected postal facilities can be found in Appendix B.

Analysis and Findings

This section will summarize the analysis and findings of the survey work by articulating the similarities and differences between the selected Thousand Series facilities assessed in Kansas for this study. To do so, the post offices have been grouped first by subtype, and within subtype by date of construction and population. Because the definition provided for a main post office under the Thousand Series is a post office between 1,000 and 12,000 square feet any postal facility with an interior square footage larger than 12,000 square feet has been labeled a process and distribution center, even if it currently functions as a main post office. The reason is because, as the USPS has modernized and initiated new building initiatives, they have left old distribution centers to function as main post offices.¹¹⁷ The date of construction is presented by decade and the population is in ascending order.

The goal of grouping post offices by subtype, date of construction, and population is to ascertain similarities and differences that might provide insight into character-defining features and later eligibility requirements. After describing the similarities within each subtype numerical findings and graphs will be presented. Under each subtype, there will be a discussion of

¹¹⁷ Current USPS facility classifications can be found on the USPS list of owned and leased facilities per state, see footnote ---.

- Owned vs Leased
- Lot type
- Building Design
- Corner lot vs interior lot
- Parking Type
- Roof type
- Window Paneling
- Dedication Plaques

Of the 45 surveyed Thousand Series post offices, there were a total of 4 combined post office and federal buildings (8.9% of the survey data); 30 main post offices (66.67%); and 11 distribution centers (24.4%) (Figure 25). Most of the post offices surveyed were constructed in the 1960s with another large construction boom in the 1980s and 1990s (refer to figure 26).

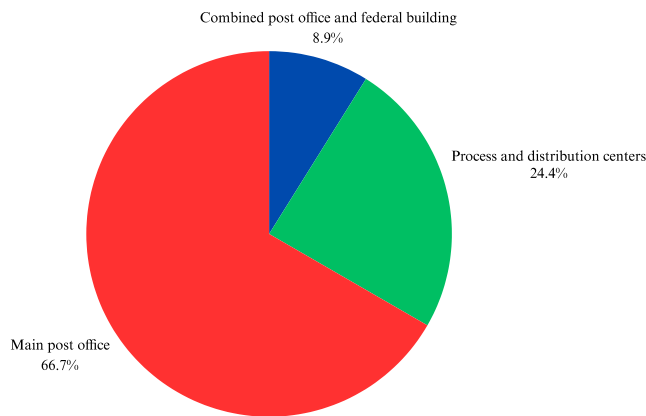


Figure 25: Distribution of Surveyed Thousand Series Subtype (Haylee Rose, 2025).

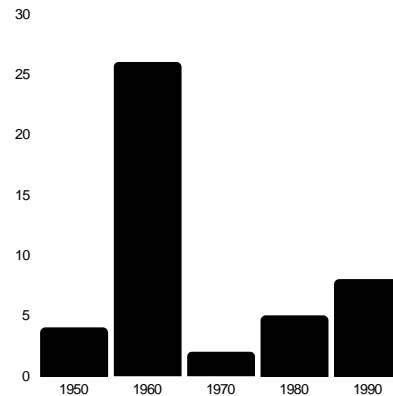


Figure 26: Distribution of Construction Year by Decade of Surveyed Thousand Series facilities (Haylee Rose, 2025).

COMBINED POST OFFICE AND FEDERAL BUILDINGS

Year Constructed

Only 4 combined post office and federal buildings were surveyed, and are located in Sedan, Emporia,

Leavenworth, and Scott City.

Of the four combined post office and federal buildings surveyed, three of the four were constructed in 1958

(25%) or 1959 (50%), with

the Scott City post office

constructed in 1965 (25%).



Figure 27: Combined Post Office and Federal Building Construction Years Thousand Series facilities (Haylee Rose, 2025).

Owned vs. Leased

All four of the combined post office and federal buildings are owned by the USPS.

Lot Type

All four of the combined post office and federal buildings are freestanding structures located on corner blocks and use 'Lot type C' from *Building Designs*.

Parking Type

The four surveyed postal facilities all had street parking as their primary customer parking. Two of the four post offices had drive-through mail drop-off services. Three of the four post offices had a rear lot for postal vehicles and mail delivery. Similarly, three of the four post offices also had a side lot for postal vehicles and mail delivery often attached to the rear lot via an alley.

Roof Type

All four of the surveyed facilities had flat roofs and a rectangular envelope. Furthermore, all of the combined post office and federal buildings surveyed are between two and three stories tall with a one-story post office.

Average Square Footage

The Sedan and Scott City combined post office and federal building are 7,650 and 6,042 square feet respectively making them relatively small post offices. Whereas, the Emporia and Leavenworth combined post office and federal buildings are between 17,993 and 31,960 square feet making them larger than some small process and distribution centers. The population where combined post offices and federal buildings are located varies widely with Emporia and Leavenworth both having populations of 18,000- 22,000 people when they were constructed versus Sedan and Scott City having a more rural population of 1,600-3,000 people.

Symmetry

All four combined post office and federal buildings have an asymmetrical layout with one side of the front elevation being taller than the other. All four surveyed are at least two stories high.



Figure 28: Scott City Post Office and Federal Building, constructed 1965. Character-defining features include asymmetrical massing with one section two stories or higher, a flat roof, picture windows, granite window detailing, and an exterior dedication plaque with federal seals (Haylee Rose, 2025).



Figure 29: Sedan Post Office and Federal Building, constructed 1958. Character-defining features include asymmetrical massing with one section two stories or higher, a flat roof, granite window detailing, exterior dedication plaque, and federal seals (Haylee Rose, 2025).



Figure 30: Emporia Post Office and Federal Building, constructed 1959. Character-defining features include asymmetrical massing with one section two stories or higher, a flat roof, a combination of brick patterns and colors with geometric concrete detailing, granite door detailing, exterior dedication plaque, and federal seals (Haylee Rose, 2025).



Figure 31: Leavenworth Post Office and Federal Building, constructed 1959. Character-defining features include asymmetrical massing with one section two stories or higher, a flat roof, granite window detailing, exterior dedication plaque, and federal seals (Haylee Rose, 2025).

Exterior Materials

The exterior materials of the four post offices vary but three of the four have gray granite accents near the front entrance and windows.¹¹⁸ The Emporia Post Office and Federal Building stands out compared to the other three post offices, considering it is constructed with blond brick and concrete compared to the red running brick with accents of granite and limestone of the other three post offices. The brick bond pattern of each of the post offices varies with many using the running bond pattern, but others are constructed with an American bond pattern or a stacked bond pattern.

Window Paneling

None of the four combined post office and federal buildings have decorative window paneling common in the main post office subtype. However, the use of granite near the entrance and windows is only found in the combined post office and federal building subtype.



Figure 32: Examples of granite accents on the Leavenworth, Emporia, and Scott City Post Office and Federal Buildings (Haylee Rose, 2025).

¹¹⁸ The Scott City post office does not have granite accents.

Dedication Plaques

All four of the combined post office and federal buildings have exterior dedication cornerstones near the front entrance. All four read “The United States of America/President name/ President/ Date constructed”. The material of the dedication plaque varies between facilities. Many plaques are made of copper colored aluminum, others are in granite or limestone.

Unique Interior Features

All four of the Combined post office and federal buildings have unique tri-display cases in the interior lobby. Each has the eagle atop the central case flanked by the president’s seal on the left side and the great seal of the United States symbol on the right side which are present on

the exterior of three of the four post offices. The other three post offices are not surrounded by polished limestone but instead are simply mounted to the drywall. All four display cases are made of aluminum and include the Declaration of

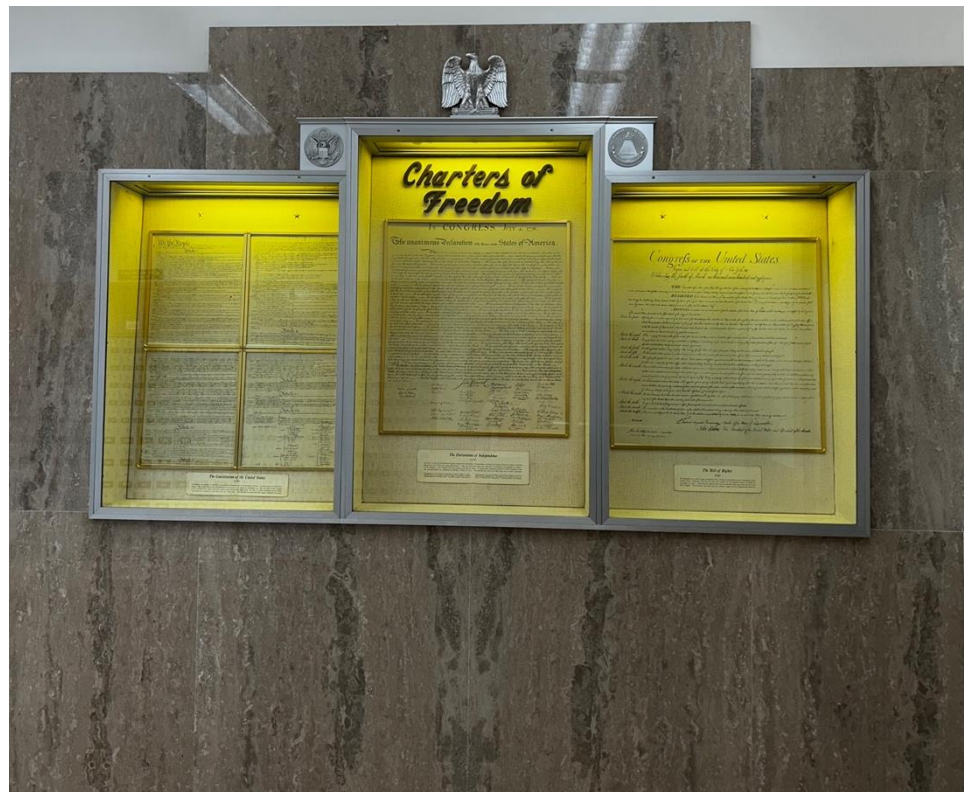


Figure 33: Interior display case at the Emporia Post Office and Federal Building illustrating a possible interior character-defining feature (Haylee Rose, 2025).

Independence in the central case, flanked by the Constitution on the left and the Bill of Rights on the right.

Surrounding Environment

All four post office and federal buildings are located either on a side street of a commercial downtown or in a centrally located rural downtown area.

MAIN POST OFFICES

Year Constructed

Main post offices were the most predominant type of Thousand Series post office subtype surveyed. Of the 45 post offices surveyed, 30 were classified as a “main post office” based on square footage. The year of construction varies widely, with the earliest main post office constructed in 1959 and the latest in 1994. Construction booms, based on the surveyed post offices, appear to have been in 1961 with a much smaller boom in 1991 (Figure 34).

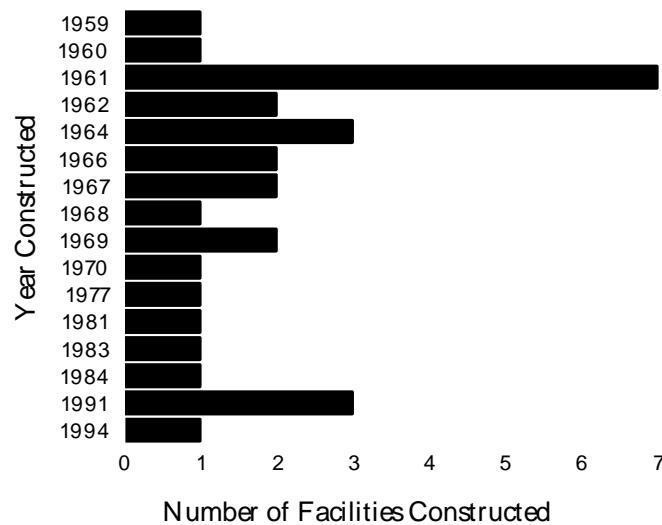


Figure 34: Distribution of main post offices surveyed by year constructed (Haylee Rose, 2025).

Owned vs. Leased

Many of the main post offices are lease-purchased; 26 of the 30 (86%) main post offices surveyed are currently leased by the USPS. Only one of the four main post offices currently owned by the USPS was constructed before 1980.

Lot Type

A majority of the main post offices surveyed are freestanding buildings (90%) with only three of the thirty surveyed post offices attached to another building making up only 10% of surveyed main post offices.

There is a fairly even distribution of lot types among the 30 surveyed postal facilities. There are seven of each Lot Type A and Lot Type D, each making up 23.3% of the survey set. Lot Type C and Lot Type B both have eight postal facilities, making up 26.7% of the survey set.

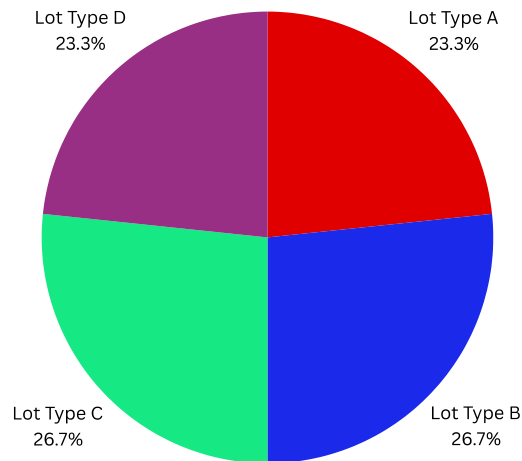


Figure 35: Distribution of main post by lot type from Building Designs, 1959 (Haylee Rose, 2025).

Parking Type

The parking type of main post offices varies dramatically. The most common types of parking at main post offices are street parking directly in front of the post office or on a side elevation, a rear or side parking lot for postal vehicles, or a dedicated front parking lot off of the main street. Almost all of the post offices had more than one parking lot type, the data is a combination of all of the parking at each main post office. The most common parking type was street parking with 22 main post offices having some form of street parking. The next most common was the dedicated rear parking lot with 11 post offices using the rear lot for postal services. The side lot was seen at 8 different post offices and was used as both patron and postal parking. The least common was the dedicated front lot, with only five post offices having a dedicated front lot.

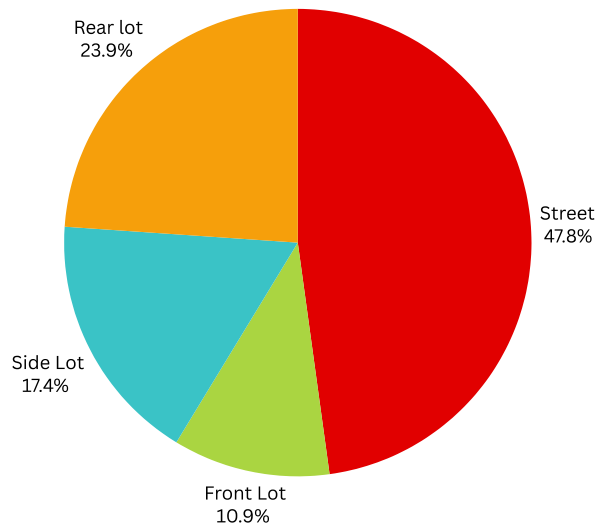


Figure 36: Distribution of surveyed main post office parking type (Haylee Rose, 2025).

Roof Type

Of the 30 main post offices surveyed, 21 of the 30 have flat roofs (70%) and nine have front gabled roofs (30%). Of the main post offices with front-gabled roofs, five of the nine had metal roofs, whereas the other four had asphalt-shingled roofs. The roofing material of the flat-roofed main post offices is unknown, as the only access was via aerial images.



Figure 37: Burrton Post Office built in 1961 illustrating a Thousand Series main post office with a front gabled roof (Haylee Rose, 2025).



Figure 38: Frankfort Post Office built in 1967 illustrating a Thousand Series main post office with a traditional flat roof (Haylee Rose, 2025).

Average Square Footage

The square footage of main post offices varies dramatically considering many of the design guidelines provide post office plans between 1,000 and 12,000 square feet. The surveyed main post offices in Kansas are between 700 and 11,000 square feet. A majority of the surveyed post offices are between 1,000 and 3,000 square feet (Figure 34).

Symmetry

Of the 30 post offices surveyed three (10%) have a symmetrical front façade, and the other 90% are asymmetrical. All three of the post offices with a symmetrical façade were constructed after 1980.

Exterior Materials

Exterior materials vary widely; however, almost all of the main post offices are constructed with a running bond brick veneer. The concrete masonry unit structure used for the construction of many Thousand Series post offices is often visible on the rear elevation of smaller main post offices.

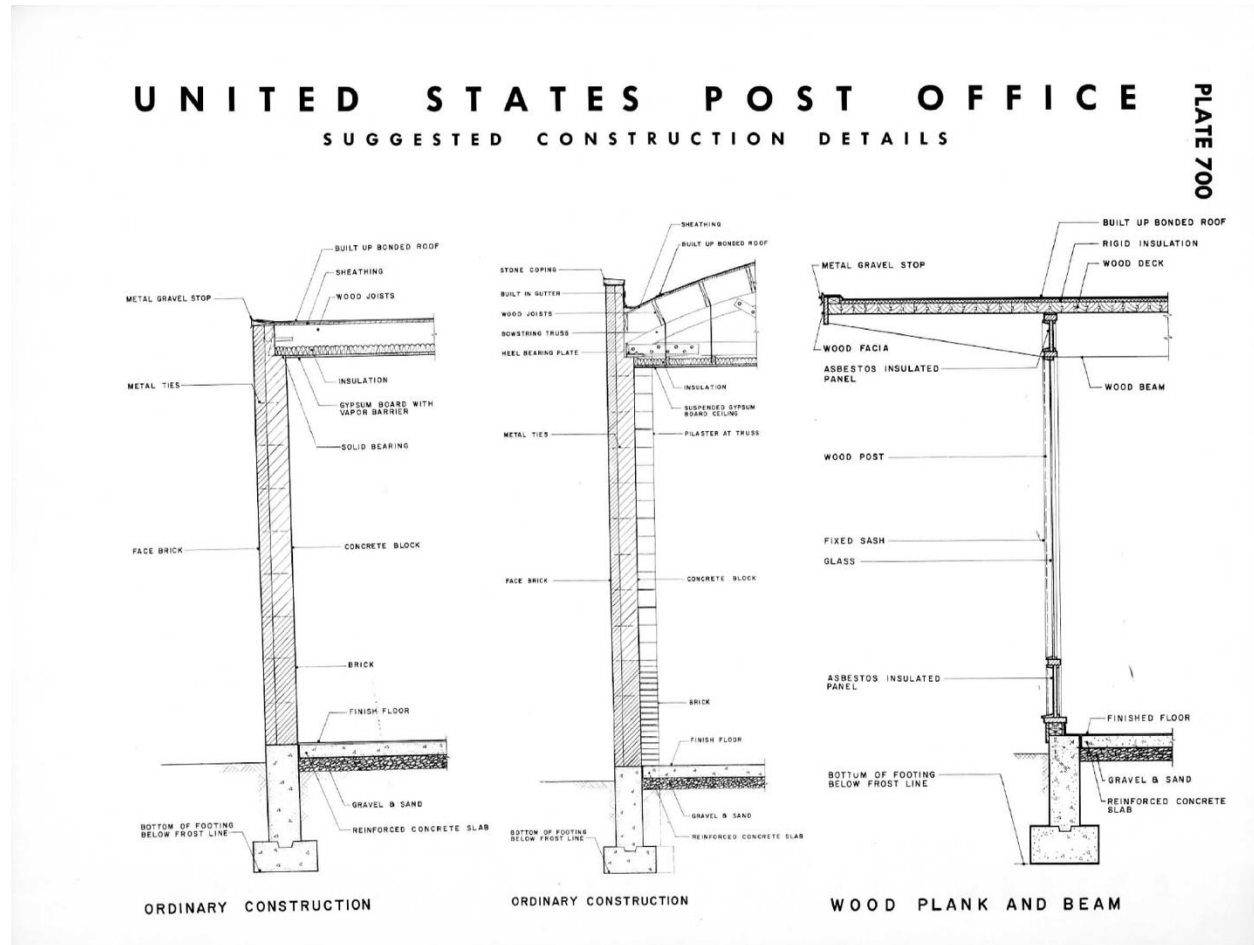


Figure 39: Suggested Construction Details from *Building Designs, 1959*, detailing three different construction methods (Haylee Rose, 2025).

The most common colors used in brick veneer include blond brick typical during the 1960s, dark brown, most often seen in the later part of the 1960s and 1970s, or a classic red which appears throughout the decades.

Another prevalent construction material observed during the survey was limestone veneer, which is an abundant stone throughout central Kansas. Twenty percent of surveyed main post offices in Kansas had exterior limestone veneer. Most of the limestone use was done in the 1960s. The pattern can vary but is most typically a random coursed ashlar.

Window Paneling

A majority of main post offices have colored window paneling making up 70% or 21 of 30 main post offices, meaning that

only 9 (30%) did not have any window paneling. Of those post offices without colored window panels 8 were constructed after 1969. Therefore, only one post office constructed between 1950 and 1960 did not have colored window paneling.

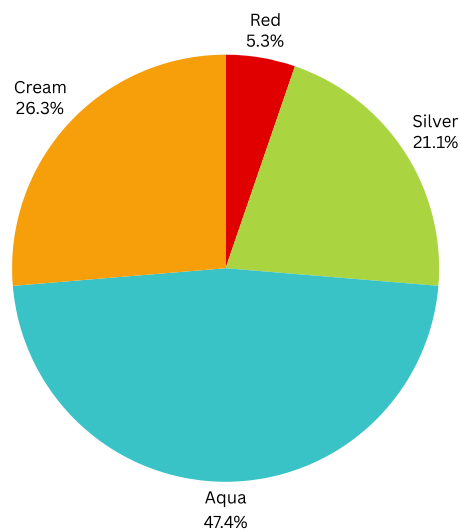


Figure 40: Distribution of different window paneling colors used on surveyed main post offices (Haylee Rose, 2025).

The distribution of colors used

for window paneling is shown in Figure 40. One unique example is the Garnett post office which does not use the typical colored aluminum window paneling but instead uses small aqua tiles above and below the window (Figure 45).



Figure 41: Red window paneling on the North Newton Post Office (Haylee Rose, 2025)



Figure 42: Silver window paneling on the Baldwin City Post Office (Haylee Rose, 2024).



Figure 43: Aqua Window Paneling on the Cottonwood Falls Post Office (Haylee Rose, 2024).



Figure 44: Cream window paneling on the Topeka Pauline Post Office (Haylee Rose, 2025).



Figure 45: Aqua tile mosaic at the Garnett Post Office (Haylee Rose, 2024).

Dedication Plaques

Unlike the combined post office and federal building most of the main post offices have interior dedication plaques; 20 of the 30 surveyed have plaques, and of those 20, only two are exterior. However, ten of the 30

main post offices have no dedication plaque at all. If a plaque is included, it contains the following information: “United States Post Office/ President Name/ President of the United States/ Postmaster General Name/ Postmaster General/ Date

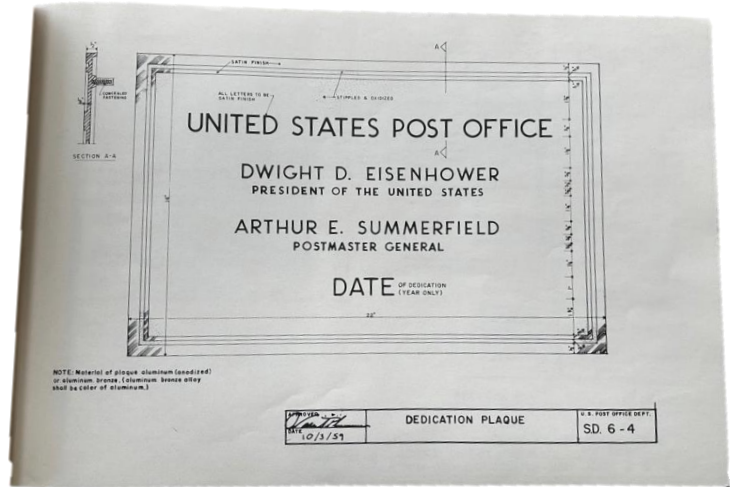


Figure 46: Dedication plaque design standard for Thousand Series Post Offices (USPS Corporate Library, 1959).

of Construction”. The plaques are aluminum with a bronze color.

Site Features

All but two of the main post offices surveyed had a flagpole on site. The options for flagpole type are a metal freestanding flagpole, which twenty-one post offices had, or an attached metal flagpole, which nine post offices constructed between 1960-1966 had. The main post offices with an attached flagpole are all between 1,000 and 4,000 square feet.

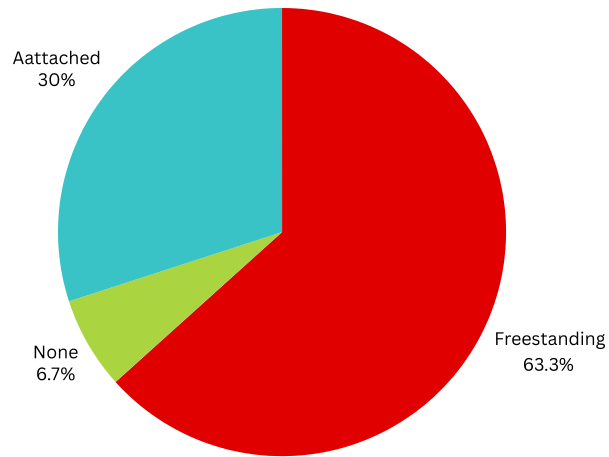


Figure 47: Distribution of flagpole type in surveyed main post offices (Haylee Rose, 2025).

Mailbox Type

Most main post offices had some kind of exterior mail drop-off either via a drop-off drive-through lane or an exterior walk-up mailbox near the entrance of the post office. Nine main post offices had a drive-through lane. Of the nine post offices with a drop-off mailbox, all appear to have been constructed between 1964 and 1994. The square footage of each post office varies between 2,000 and 6,000 square feet.

Of the remaining post offices, fourteen had an exterior freestanding mailbox near the front entrance. A majority of the post offices with exterior freestanding mailboxes appear to have been constructed between 1960 and 1970 with only one of the fourteen having been constructed in 1980. All of the post offices with a freestanding mailbox were between 700 square feet and 4,000 square feet.

However, seven of the main post offices surveyed had no exterior mailbox. The dates of construction vary widely; however, most were constructed in the 1960s and there doesn't appear to be a typical square footage for those facilities without an exterior mailbox.

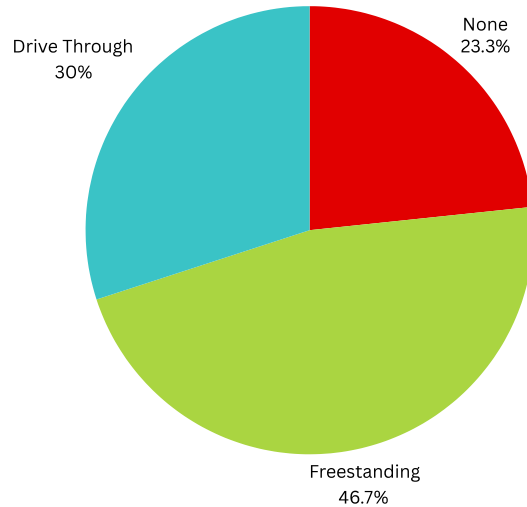


Figure 48: Distribution of exterior mailbox type in surveyed main post offices (Haylee Rose, 2025).

Surrounding Environment

The main post offices surveyed appear to be most prevalent in commercial and residential settings. Many of the smaller towns have the post office situated on a commercial street however, there are residential neighborhoods behind. Larger main post offices, like the ones in Lenexa, Garden City, Liberal, and Colby, are all located in commercial and industrial settings.

PROCESS AND DISTRIBUTION CENTERS

Year Constructed

Of the eleven process and distribution centers surveyed a majority were constructed in the 1980s and 1990s. The eleven post offices that have been classified as process and distribution centers are Garden City, Kansas City, Lawrence Downtown Station, Lawrence Jayhawk Station, Manhattan, Olathe, Olathe East Station, Wichita Downtown Station, Wichita River City Station, Shawnee, and Independence. The Shawnee, Garden City, Independence, Lawrence Downtown Station, and Manhattan Post Office were all constructed in the 1960s. The remaining post offices were constructed in the 1980s and 1990s.

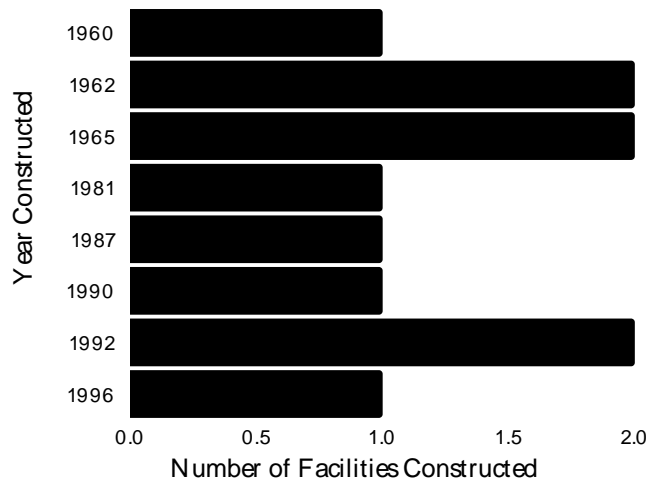


Figure 49: Distribution of construction year for surveyed process sand distribution centers (Haylee Rose, 2025).

Owned vs. Leased

All eleven of the process and distribution centers are owned by the USPS.

Lot Type

All eleven post offices either do not conform to the lot types described in *Building Designs* or use Lot Type D. Four of the eleven do not use Lot Type D.

Parking Type

All process and distribution centers had a drive-through mail drop-off lane as well as a front parking lot with at least 20 customer parking spots.

Roof Type

All eleven of the process and distribution centers had flat roofs although the Olathe East Station and Lawrence Jayhawk station, both had a combination of flat roofs with front gabled roofs which serve as ornamentation.



Figure 50: Olathe East Station constructed in 1992 illustrating the second period of Thousand Series postal construction and the use of gabled roofs as exterior ornamentation (Haylee Rose, 2024).



Figure 51: Lawrence Jayhawk Station constructed in 1996 illustrating the second period of Thousand Series postal construction and the use of gabled forms as exterior ornamentation (Haylee Rose, 2024).

Average Square Footage

The square footage of the surveyed process and distribution centers varies widely; there appear to be no similarities between any of the selected facilities and their square footage. The city population when the postal facilities were constructed was between 9,000 and 304,000 citizens, meaning the process and distribution centers are located in large cities or metropolitan areas.

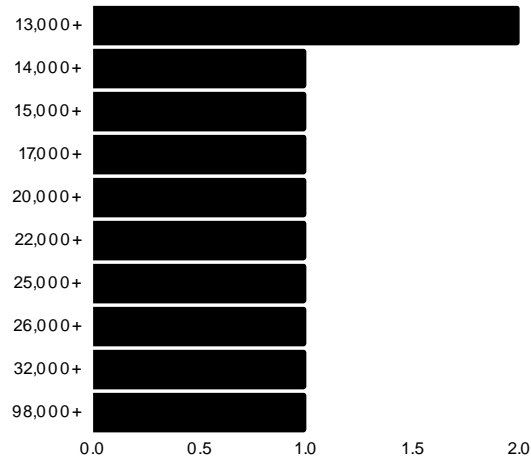


Figure 52: Distribution of square footage in surveyed process and distribution centers (Haylee Rose, 2025).

Symmetry

Of the eleven processes and distribution centers, ten are asymmetrical. The only symmetrical post office is Olathe East Station.

Exterior Materials

The exterior materials used are widely varied, with at least eight of the eleven post offices primarily constructed with a running bond brick veneer, although two of the post offices are constructed with rusticated limestone. The remaining two process and distribution centers are outliers as they are primarily constructed with concrete and stucco; both facilities were constructed in the 1980s and 1990s. Considering the process and distribution centers were not designed using design guidelines the same continuity of main post offices is not expected.

Window Paneling

Only one of the eleven post offices has colored window panels, and that Shawnee post office is also the earliest constructed process and distribution center, having been constructed in 1960.

Dedication Plaques

Six of the eleven post offices have dedication plaques, three interior and three exterior.

Surrounding Environment

The surrounding environment for the process and distribution center are primarily large-scale commercial buildings. Some outliers are the Kansas City process and distribution center which is next to a federal court and is located in an institutional portion of Kansas City. At least six of the eleven post offices are located near residential neighborhoods and apartment complexes.

Key Takeaways/Summary of the Case Study Research

The survey findings provided tangible confirmation that the URS and Oregon studies were accurate in their findings on many character-defining features and necessary aspects of integrity. However, this survey also identified several character-defining features not previously determined by the URS or Oregon context studies that are unique to Thousand Series post offices and the period of significance is more specific than 1960-1971. Below are examples of nine post offices surveyed in Kansas which are either exact replicas of the plans or highly reminiscent of elevation drawings in *Building Designs* (1959/1964) and a *Family of Standard Designs*.

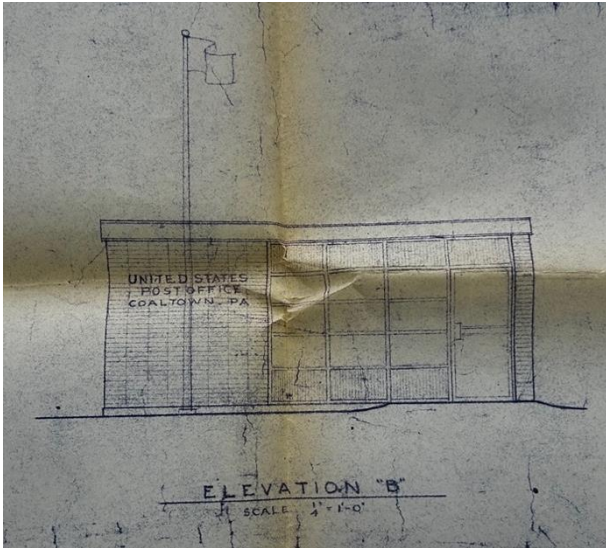


Figure 53: Thousand Series design drawing from USPS Corporate Library. The design uses a stacked bond veneer with fixed picture windows and a front entrance on the far western portion of the front elevation (USPS Corporate Library, 1959).



Figure 54: Edgerton Post Office constructed in 1961. Similarly, to the preliminary design the Edgerton facility has a strong horizontal axis with brick veneer and front door on the far western portion of the front elevation. The windows are the same fixed picture windows, but the Edgerton windows are 3x4 as compared to the preliminary design which is 4x4 (Haylee Rose, 2024).



Figure 55: Thousand Series design drawing from Building Design Guidelines. Design 27 has an emphasis on horizontal bays split up by brick veneer with tall tri-part horizontal picture windows and silver window paneling (USPS Corporate Library, 1959).



Figure 56: Similarly, to Design 27 the St. John Post Office constructed in 1960 has a bay on vertical tri-part picture windows with silver window paneling with a center section of blond running bond brick veneer separating the windows from the entrance bay (Haylee Rose, 2025).



Figure 57: Thousand Series design drawing from Building Design Guidelines. Design 29 is a minimal design with most of the ornamentation revolving around the use of blond stacked brick veneer on the front elevation (USPS Corporate Library, 1959).

Figure 58: Similarly, to Design 29 the Frankfort Post Office constructed in 1967 has a blond stacked brick veneer on the front facade with vertical picture windows. Unlike Design 29 the Frankfort post office has aluminum paneling in the windows and at the top of the cornice (Haylee Rose, 2025).

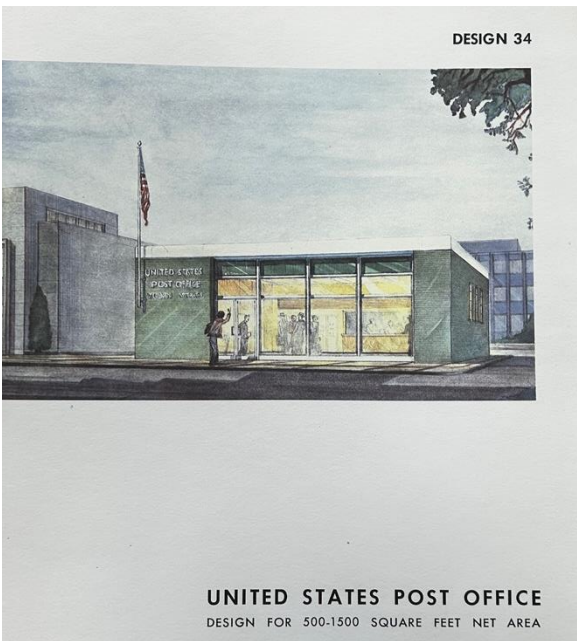


Figure 59: Thousand Series design drawing from Building Design Guidelines. Design 34 is a minimal design with most of the ornamentation revolving around the use of blond running bond brick veneer on the front elevation with vertical picture windows. A unique feature on Design plate 34 is the attached flagpole. (USPS Corporate Library, 1959).

Figure 60: Similarly, to Design 34 the Glasco Post Office constructed in 1961 has a blond running bond brick veneer with vertical picture windows with an attached flagpole. Unlike Design 34 the Frankfort post office has aluminum paneling in the windows (Haylee Rose, 2025).

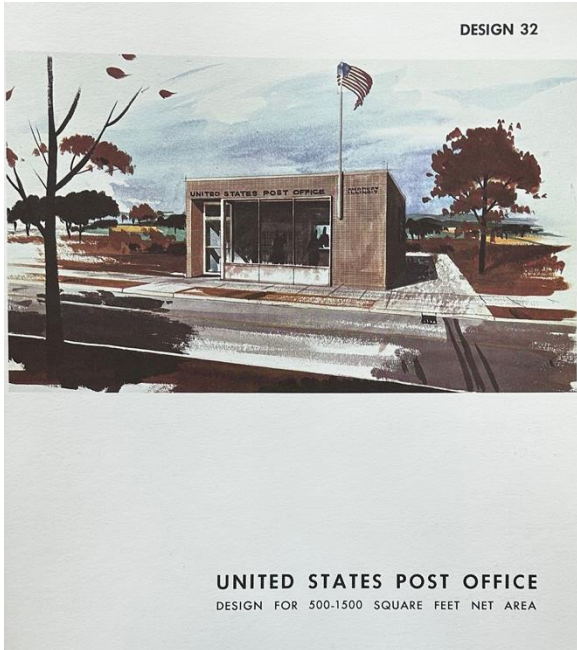


Figure 61: Thousand Series design drawing from Building Design Guidelines. Design 32 is a minimal design with most of the ornamentation revolving around the use of blond running bond brick veneer on the front elevation with a large portion of the front façade being a window wall. A unique feature on Design plate 32 is the attached flagpole. (USPS Corporate Library, 1959).



Figure 62: Similarly, to Design 32 the Tescott Post Office constructed in 1961 has a blond running bond brick veneer windows with an attached flagpole and entrance on the far east side of the front elevation. Unlike Design 32 the Tescott post office has only one large 3x4 window and the flagpole is attached in a different location (Haylee Rose, 2025).

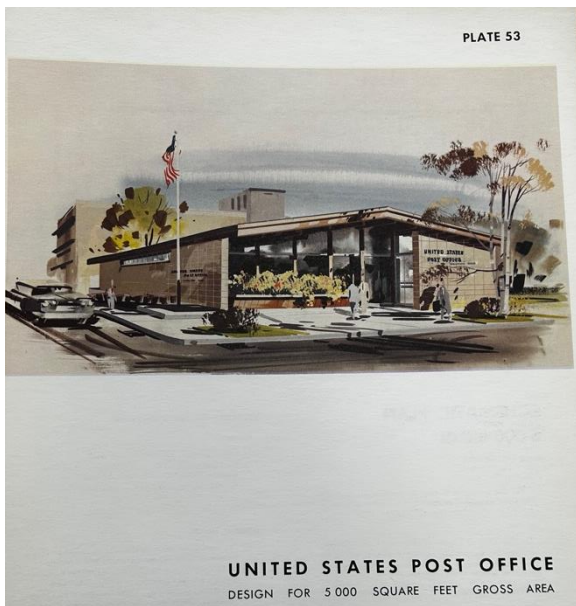


Figure 63: Thousand Series design drawing from Building Design Guidelines. Design 53 is distinct from other design plates at it is one of the few designs with a front gabled roofline. Design 53 also has vertical picture windows and door in the recessed entrance. The materials still revolve around the use of brick veneer (USPS Corporate Library, 1959).



Figure 64: Similarly, to Design 53 the Burrton Post Office is a front gabled main post office constructed in 1961 and has a blond running bond brick veneer with vertical picture windows in the recessed entrance (Haylee Rose, 2024).



Figure 65: Thousand Series design drawing from Family of Standard Designs. Residential design 24 is a minimal design similar to design plate 54 from Building Designs. This post office also has a front gabled roof with recessed windows and an entrance. Construction materials were not specified in the guidelines (USPS Corporate Library, 1983).



Figure 66: The Goddard Post Office constructed in 1985 is nearly identical to Residential design 24. The post office is constructed out of dark brown running bond brick veneer with stuccoed paneling under the recessed portion of the front gabled roofline. (Haylee Rose, 2024).

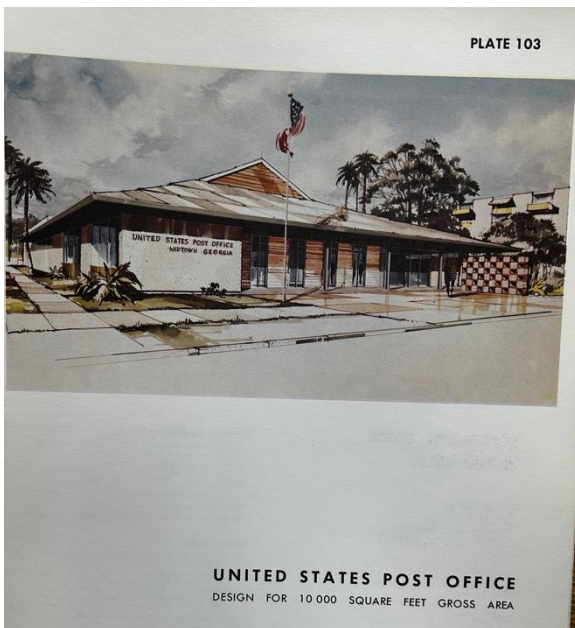


Figure 67: Thousand Series design drawing from Building Design Guidelines. Design 103 stands apart from other design plates because of its unique Polynesian-hipped roof. The post office has a rectangular massing and recessed front entrance. (USPS Corporate Library, 1959).



Figure 68: Similarly, to Design 103 the Elk City Post Office constructed in 1991 has the same Polynesian-hipped roof, rectangular massing, and recessed front entrance. (Haylee Rose, 2025).



Figure 60: Thousand Series design drawing from Building Design Guidelines. Design 123 is a minimal design with no ornamentation other than the color, brick bond pattern, and vertical picture windows (USPS Corporate Library, 1959).



Figure 70: Similarly, to Design 123 the Manhattan Post Office constructed in 1965 has a blond running bond brick veneer with limestone accents and vertical picture windows (Haylee Rose, 2025).

CHAPTER 4

SUMMARY OF FINDINGS

This chapter presents the findings of this research process by first reminding the reader of the various research questions posed in Chapter 1, then answering those questions.

The series of four questions proposed at the end of Chapter 1, all relate to National Register eligibility of Thousand Series post offices. The first question relates to character-defining features, which were discussed in Chapter 2, while collected survey data, informed by the identified character-defining features, was presented in Chapter 3. The second question pertained to the Thousand Series period of significance and distinct construction phases which were partially answered in Chapter 2, where background research established a logical start date for the period of significance starting in 1954. Survey data from Chapter 3 identified two distinct construction phases in Kansas during the 1950 to 2000 survey period. Finally, the last two questions concerning National Register criteria, specifically areas of significance, level of significance, and integrity, have not been sufficiently addressed in the previous chapters.

Therefore, this chapter will endeavor to provide an official list of character-defining features of each distinct subtype using data collected in Chapter 3, establish an end date for the period of significance based on survey data, and finally address National Register criteria, level and area of significance and integrity broadly before discussing each subtype.

Period of Significance

The period of significance is defined by the URS and Oregon contexts as the period when the Thousand Series was constructed, though the National Register defines the period of significance as the period when a resource becomes historic. The more traditional use of period of significance can be seen in reference to the nomination of individual postal facilities, using the date of construction as the period of significance; although, it is important to note that there is a broader period of significance for the Thousand Series as a trend of postal construction. Therefore, this study also uses the term period of significance in reference to the general period of Thousand Series influence; that is based on primary and secondary research that starts in 1952 with the debates over the implementation of a federal lease purchase program. The period of significance determined by the URS and Oregon context studies vary, as seen in Table 2. However, based on primary and secondary research in this study, suggests the period of significance for the Thousand Series starts in 1952 with the implementation of the federal lease purchase program which was instrumental in creating main post offices around the nation. Both the URS and Oregon reports ended the Thousand Series period of significance in 1971 due to the Postal Reorganization Act, which created the quasi-independent United States Postal Service. However, analysis of Kansas survey data, based on common character-defining features, indicated that the period of significance does not truly end until sometime between 1977 and 1981. It was discovered during analysis of the Kansas data that each Thousand Series subtype appears to have its own period of significance, which is discussed below.

Combined Post Office and Federal Buildings

The URS context study notes that the period of significance for the combined post office and federal buildings is between 1955 and 1968.¹¹⁹ The combined post office and federal buildings identified in Kansas were constructed between 1958 and 1965 which falls within the previously determined period of significance for the subtype. There is no evidence to indicate that the period of significance for the subtype is different than what was previously determined by the URS context study.

Main Post Office

Research found that the overarching period of significance for Thousand Series main post offices starts in 1954 with the Federal Lease Purchase Act, yet the earliest Thousand Series main post office in Kansas was not constructed until 1959. A majority of the surveyed main post offices were constructed in the 1960s, with a concentration of main post offices constructed in 1961. There is a clear demarcation of two different construction periods in the main post office subtype in Kansas based on construction materials and design similarity. The two construction periods may be seen across the nation, but more research is needed to justify that claim.

The first ‘traditional’ Thousand Series construction period is between 1959-1977 which represents the character-defining features of Thousand Series post office design as influenced by the design guidance of the 1959 and 1963 *Building Design* guidelines. A second period of construction of main post offices appears to be 1981-1993 as smaller main post offices still appear to conform to many of the Thousand Series design principles in scale and proportion, but the building materials and site layout appear to be altered.

¹¹⁹ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-48.

Further, in the Kansas study, there have been a few anomalies in categorizing some of the surveyed historic resources. For example, the Lenexa post office (Figure 71) is technically a main post office located in a metropolitan suburb, but in design and construction materials it more closely resembles a process and distribution center. Main post offices constructed before and after the Lenexa post office, like the Cimmaron Post Office (1977) and the Peru Post Office (1983) still appear to have the character-defining features of smaller main post offices in the Thousand Series making determining a definitive period of significance hard to definitively pinpoint.



Figure 71: Cimmaron Post Office constructed in 1977, the Cimmaron main post offices follows many of the same character-defining features of Thousand Series main post offices despite its later period of construction (2025, Haylee Rose).



Figure 72: Lenexa Post Office constructed in 1981 has almost no character-defining features of the Thousand Series main post offices despite being constructed not long after the Cimmaron Post Office (2025, Haylee Rose).



Figure 73: Peru Post Office, despite having been constructed in 1983, still has many of the character-defining features of Thousand Series main post offices indicating smaller main post offices constructed post 1975 may still be eligible under the Thousand Series umbrella (2025, Haylee Rose).



Figure 74: Goddard Post Office, despite having been constructed in 1984, still has many of the character-defining features of Thousand Series main post offices indicating smaller main post offices constructed post 1975 may still be eligible under the Thousand Series umbrella (2024, Haylee Rose).



Figure 75: Elk City Post Office, despite having been constructed in 1991, still has many of the character-defining features of Thousand Series main post offices indicating smaller main post offices constructed post 1975 may still be eligible under the Thousand Series umbrella (2025, Haylee Rose).

Process and Distribution Centers

The process and distribution center subtype was not constructed until 1960 in Kansas; the Shawnee Post Office is the first process and distribution center constructed in the state and heavily relies on many of the stylistic motifs of main post offices used in *Building Designs*. However, process and distribution centers are individually designed by architects and constructed by the USPS, meaning assessing their period of significance is more complicated than that of the combined post office and federal building or main post office subtypes. Based on construction trends, it appears that the process and distribution centers constructed under the Thousand Series type have a period of significance from 1960 -1970. The process and distribution centers constructed from 1960-1970 follow the building siting guidance as noted in *Design Guidelines*, as well as the same construction trends and materials as lease-purchased main post offices.

During the character-defining features research in Kansas, a second period of construction revealed itself for process and distribution centers as circa 1980-1990, when the

design and construction were considered part of the ‘Kit of Parts’ type and style.¹²⁰ The ‘Kit of Parts’ subtype is a process and distribution center that differs from the Thousand Series, as they have standard plans for process and distribution centers which didn’t need architects or designers because the building came in a pre-fabricated or pre-planned kit; much like kit-homes of the early twentieth century. Furthermore, the Kit of Parts subtype uses elements of Post-Modern design as compared to the Modernist design influence of the Thousand Series. The process and distribution centers designed under the Thousand Series were all designed individually by architects. Although there is minimal information available on the Kit of Parts, secondary research indicates that the national construction date was in the 1990s. Kansas survey data would argue that there is a fairly large departure in the design between process and distribution centers constructed in 1960-1970 and 1980-1990 potentially indicating that the Kit of Parts designs were partially implemented earlier than 1990 in Kansas.

Table 3: Table summarizing the different periods of significance for Thousand Series facilities based on author of the study (Haylee Rose).

<i>Period of Significance</i>	<i>URS</i>	<i>Oregon</i>	<i>Kansas</i>
Overarching Period of Construction for Thousand Series Facilities	1960-1971	1950-1971	1952-1991
Combined Post Office and Federal Buildings	1940-1971	1950-1971	1955-1968
Main Post Offices	1940-1971	1950-1971	1954-1977 1977-2000* *Small 1990s main post offices, between 700 and 6,000 square feet, still conform to <i>Design Guidelines</i>
Process and Distribution Centers	1960-1971	1950-1971	1960-1980 1980 – 1990

¹²⁰ Secondary research about the Kit of Parts building initiative is tough to find, with the former historic Preservation Officer of the USPS not having had any recommendations for those inquiring into the type. The only mention of the Kit of Parts in the primary or secondary literature is in “‘Correct and Perfect’: Post Office Design Guidelines and the Standardization of the National Postal Landscape”, 2006, Rita Lloyd Moroney Junior Award Paper, United States Corporate Library. 1970-1980 is not covered in the period of significance as no facilities constructed in the 1970s were found in the state of Kansas.

Character-Defining Features

This section will remind the reader of the character-defining features determined by the URS and Oregon context studies as well as present newly identified character-defining features found as a result of this study, summarized in Table 4 (p. 116).

The URS report generally decided that common character-defining features for *all* subtypes of Thousand Series post offices are:

- Rectilinear modular components.
- Glass, metal panel, or masonry facing panels.
- Metal trim and framing of windows and entrance.
- Interior glass and panel wall separating post box lobby from public service counter lobby.
- Flat roof and metal trimmed eave or fascia.¹²¹

The Oregon report added that Thousand Series post offices must be sited outside the central core in an auto-friendly place. There was limited patron parking, and employee and truck parking in the rear.¹²² Any other character-defining features in the Oregon report come from the URS context study. The URS study addresses any subtype specific character-defining features under the subtype classification section titled ‘Associated Property Types’. The Oregon report does not break down character-defining features by subtype.

This section is divided into each Thousand Series subtype and discusses the character-defining features previously determined by the URS and Oregon context studies, then specific character-defining features which are applicable to most, if not all, Thousand Series facilities surveyed in Kansas.

¹²¹ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-33.

¹²² Tess, “U.S. Post Office Department Facilities in Oregon, 1940 to 1971”, 20.

Combined Post Office and Federal Buildings

URS/Oregon character-defining features for the combined post office and federal buildings were specific to interior division of space.¹²³ The only exterior character-defining features listed in the URS report for combined post office and federal buildings is multi-bay loading dock and substantial parking (Table 3). Based on architectural features like lot layout, massing, building envelope, and exterior design as influenced by *Building Design* guidance, the raw Kansas survey data revealed that potential character-defining features for the combined post office and federal buildings include:

- *Exterior envelope of one architectural stylistic expression**
- *Stylistic association with monumental or institutional presence*
- *Importance of architectural style to community*
- *Character-defining elements of style present*
- Owned by the USPS
- Constructed between 1955-1968
- Located near ‘downtown’
- Use of Lot Type D in *Building Design* (1959)
- Street Parking
- Freestanding Flagpole
- Use of granite accents on the front façade
- Exterior aluminum ‘name plate’
- Use of brick veneer, multiple bond types allowed
- Drive through mail drop-off lane
- Flat roof
- More than one story
- Rectangular massing
- Asymmetrical façade
- Aluminum Picture windows
- Exterior federal seals
- Exterior dedication plaque or cornerstone
- Interior tri-display case in the interior lobby

**Italicized bullet points are character defining features determined by the URS Context Study.*

At the most basic level, the observed character-defining features of the combined post office and federal building subtype, in the state of Kansas, are defined by the multi-story ‘split-level’

¹²³ Any required elements determined by the URS or Oregon for all the subtypes will be italicized in the character-defining list.

massing with a flat roof, constructed of a brick, stone, or masonry veneer, granite accents and aluminum picture windows.

Main Post Offices

The character-defining features determined by the URS report are much more comprehensive for main post offices. The previously determined character-defining features can be seen below in Table 4. All of the previously determined character-defining features were also found in the Kansas survey, hence considered accurate with the exception of “flat roof” which does not appear to be true based on Kansas survey data. Other character-defining features determined based on survey data not included by the URS or Oregon context studies are:

- *Rectilinear modular components*
- *Glass, metal panel, or masonry facing*
- *Metal trim and windows framing the entrance*
- *Interior glass and panel wall separating post box lobby from public service counter*
- *Flat roof and metal trimmed eave or fascia*
- *Peripheral urban location with easy vehicle access*
- *Exterior entrances at street or sidewalk*
- *Patron and employee parking*
- *Clean lines and smooth surfaces expressed through glass and metal*
- *Influenced by Design Guidelines (1959/1964) or Family of Standard Design*
- *Leased by the USPS*
- *Freestanding*
- It is acceptable if the post office is attached to one or more buildings so long as it is in a downtown setting
- Attached facilities may be considered eligible if they meet the other character defining features
- Street Parking
- Rear loading bay and mail truck/employee parking
- Interior dedication plaque
- Asymmetrical front façade
- Exterior brick or limestone veneer, multiple bond styles allowed
- Colored decorative aluminum window paneling
- Interior dedication plaque
- Freestanding or attached flagpole
- Freestanding exterior mailbox or drive through mail drop off lane

**Italicized bullet points are character defining features determined by the URS Context Study.*

The main post office subtype in Kansas can be defined as a freestanding or attached structure

with a one story rectangular boxy massing between 600-12,000 square feet, flat or front gabled roof, brick and/or stone veneer, aluminum metal window paneling, and aluminum picture windows.

Process and Distribution Centers

The previously determined character-defining features for process and distribution centers are understandably concerned with interior spatial arrangements and siting. Additional character-defining features found during the Kansas survey include:

- *Location adjacent to major arterial and freeway or interstate highways*
- *Adjacent land uses consistent with business parks or light industry*
- *Ample parking and vehicle maneuvering space with multiple trucking bays*
- *Exterior design and materials associated with modernism*
- *Interior spaces include large open span areas*
- *Postal sorting and distribution machinery evident*
- Owned by the USPS
- Ample patron parking in the front or side lot (20+ individual spots)
- Use of Lot Type D, or has an entire block to itself
- Flat or front gabled roof
- Square footage greater than 12,000 square feet
- Interior or exterior dedication plaque
- Freestanding flagpole
- Industrial or Commercial surrounding environment
- Drive through mail drop-off lane

**Italicized bullet points are character defining features determined by the URS Context Study.*

The process and distribution center subtype can be identified as they are freestanding structures larger than 12,000 square feet, constructed out of a variety of diverse construction materials, with large paved surfaces for truck maneuverability and patron parking.

Survey Results in additional Character-Defining Features

Through background research and case study surveys conducted in Kansas more than 40 additional character-defining features of the Thousand Series were found. The URS and Oregon

reports were correct in almost all of their initial character-defining features but the case studies were able to add character-defining features related to site layout, small scale features, construction materials, and other more nuanced aspects unique to the Thousand Series.

Table 4: Table illustrating the different character-defining features the three different studies determined based on Thousand Series sub-type (2025, Haylee Rose).

<i>Character-Defining Features</i>	<i>URS</i>	<i>Oregon</i>	<i>Kansas</i>
Combined Post Office and Federal Building	<ul style="list-style-type: none"> -Monumental presence -Division of function -Metal doors -Sprawling floor plan -Large work room -Multi-bay loading dock -Postal machinery -Separate service lobby and box lobby areas 	N/A	<ul style="list-style-type: none"> -Constructed between 1955-1968 -Owned by the USPS -Located in or near 'downtown' -Use of Lot Type D in <i>Building Design</i> (1959) -Street Parking -Drive through mail drop off -Freestanding flagpole -More than one story tall -Flat roof -Rectangular massing -Asymmetrical façade -Exterior dedication plaque -Use of brick veneer, different bond types allowed -Exterior granite detailing near windows and doors on the primary façade -Aluminum picture windows -Exterior aluminum post office name plate -Exterior Aluminum federal seals -Interior tri-display case in interior lobby
Main Post Office	<ul style="list-style-type: none"> -Design based on 1959 or 1964 <i>Building Designs</i> brochure -Less than 12,000 square feet, strong horizontality -Original floor plan with patron entrance through box lobby -Flat roof, one story 	N/A	<ul style="list-style-type: none"> -Design based on <i>Building Design</i> (1959/1964) or Family of Standard Buildings -Leased by the USPS -Freestanding -Street Parking -Flat or front gabled roof, one story -Asymmetrical front façade

<i>Character-Defining Features</i>	<i>URS</i>	<i>Oregon</i>	<i>Kansas</i>
Main Post Office	<ul style="list-style-type: none"> -Aluminum/stainless steel window walls or rows of windows -Aluminum or stainless-steel entrance door -Metal or wood fascia rear canopy with soffit -Vinyl, stone or terrazzo interior flooring -Glass and metal trim interior partition between box lobby and post office lobby materials: (glass and wood trim okay) -Lot layout based on Lot Types A, B, C, D, as described in 1959 or 1964 <i>Building Designs Brochure</i>¹²⁴ 		<ul style="list-style-type: none"> -Exterior brick or limestone veneer, multiple bond styles allowed -Colored decorative aluminum window paneling -Interior dedication plaques -Freestanding or attached flagpole -Freestanding exterior mailbox or drive through mail drop off lane
Process and Distribution Center	<ul style="list-style-type: none"> -Masonry walls -Metal windows -Metal doors -Sprawling floor plan -Large work room -Multi-bay loading dock -Postal machinery -Lookout gallery -Service and post office box lobbies -Vehicle maintenance building 	N/A	<ul style="list-style-type: none"> -Owned by the USPS -Ample patron parking in the front or side lot (20+ individual spots) -Use of Lot Type D, or has an entire block to itself -Flat or front gabled roof -Square footage greater than 12,000 square feet -Interior or exterior dedication plaque -Freestanding flagpole -Industrial or Commercial surrounding environment -Drive through mail drop-off lane

National Register Criteria

This section briefly reflects on how the URS and Oregon reports approached National Register eligibility then refines recommendations for National Register areas of significance, levels of significance, and necessary integrity for the three surveyed Thousand Series subtypes as influenced by the Kansas research.

¹²⁴ The 1964 version of the Building Designs brochure does not have lot types.

The URS and Oregon reports differed in their approach and technical guidance on Thousand Series eligibility. The URS report provided eligibility criteria, areas of significance, significance level, and minimal integrity aspects for each subtype. The URS study noted that the Thousand Series was eligible under Criterion A or Criterion C at the local level. The Oregon report noted six of the most eligible Thousand Series facilities in the state and determined if they maintained integrity for eligibility under Criterion C but did not provide any information on how the six facilities were selected or how the properties compared to the guidance put out by the URS study.

National Register Criteria and Area of Significance

Criterion A

National Register Bulletin 16: How to Complete the National Register Registration Form provides at least 38 potential areas of significance a property might be considered eligible under.¹²⁵ Of those 38 areas of significance, *National Register Bulletin 13: How to Apply the National Register Criteria to Post Offices* notes that post offices may be eligible, broadly, under:

- architecture
- commerce
- communication

Areas of Significance	National Register Criteria: Possible Characteristics
Communications	<p>A: Represents the introduction or evolution of an important service, technological advance, or other development that influenced communications systems operated in a community, State, or the nation.</p> <p>Represents events or patterns of events that had an important influence in the policies and philosophies of operating the postal service or other communications systems in a community, State, or the nation.</p> <p>Represents a significant period or distinctive method of communication in a community, State, or the nation.</p> <p>B: Is associated with a person who had an important influence on the development of the postal service.</p> <p>Is associated with a person whose experience with the postal service influenced a significant achievement in another area of communications.</p> <p>C: Represents, through its design elements, the goals or achievements of the postal service.</p>
Community Planning and Development	<p>A: Represents an important period of growth, prosperity, consolidation, optimism, depression, or other significant period in the history of a community, State, or the nation.</p> <p>Is or was perceived as a symbol of community pride and achievement in a particular accomplishment or period of its history.</p> <p>Represents the early establishment, development, or location of government, civic, and/or business centers of a community.</p> <p>Represents influences on the development of community or State planning departments.</p> <p>B: Is associated with someone whose experiences with the postal services influenced significant achievements in community development.</p>
Economics	<p>A: Represents goals, policies, practices, services, or other factors influencing or intended to influence significant periods of economic stability, crisis, or fluctuation in the community, State, or nation.</p> <p>B: Is associated with someone whose experience with the postal service influenced significant achievements in the economy of the community, State, or nation.</p>
Education	<p>A: Introduced or represents the development of services that had a significant effect on the development of the educational system of the community, State, or nation.</p> <p>B: Is associated with someone whose experience with the postal service influenced significant achievements in the educational system of the community, State, or nation.</p>

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 Figure 76: Potential areas of significance for postal facilities determined by National Register Bulletin 13 (National Park Service, 1984).

¹²⁵ National Park Service, *National Register Bulletin 16: How to Complete the National Register Registration Form*, 1997, <https://www.nps.gov/subjects/nationalregister/upload/NRB16A-Complete.pdf>, 40-41.

- community planning and development
- economics
- education
- exploration/settlement
- politics/government
- social history
- transportation¹²⁶

It is relevant to address that National Register *Bulletin 13* is still useful in the assessment and nomination of modernist post offices even though it was originally intended to be used for the nomination of postal architecture pre-New Deal (1933). *Bulletin 13* breaks down each potential area of significance, then organizes by necessary factors for a post office to be considered eligible under Criterion A, B, C, or D.

The URS context study considered Thousand Series post offices broadly eligible under Criterion A: Community Planning and Development and Criterion C: Modernist Architecture. The URS study then determines the criteria each subtype might be eligible under. To be eligible as a Thousand Series under Community Planning and Development, at the local level, Thousand Series post offices needed to be

- located in a peripheral urban location with easy vehicle access,
- exterior entrance to the street with minimal landscaping,
- patron and employee parking with loading docks and truck turnarounds, and
- have an exterior with clean lines and smooth surfaces expressed through glass and metal

The URS guidance also notes that any Thousand Series facility eligible under Criterion A: Community Planning needs to have the integrity of location, setting, feeling, and association.

The Oregon report decided that the Thousand Series was only potentially eligible under Criterion A: Communications or Criterion B: Association with a person's significance in the history and development of the U.S. Postal Service. To be eligible under both Criterion A and

Criterion B the post office needed to be both nationally significant and be the single most significant resource based on associative value with enough integrity to convey that association. No post office in Oregon was found to have a national level of significance and therefore, none of the Thousand Series post offices were considered under Criterion A or B.¹²⁷ This Kansas study concurs with the URS and Oregon study that Thousand Series post offices should not be nominated under Criterion B due to the limited scope of each study. Some main post offices might be eligible under Criterion B at the local level, but the scope of this study was too broad to do historical research on each post office. Therefore, none of the Thousand Series post offices have been considered eligible under Criterion B.

Criterion C

The only other criterion considered was Criterion C: Modernist Architecture. URS requires

- rectilinear modular components
- glass, metal, or masonry facing panels
- metal trim and framing of windows and entrance
- interior glass and panel wall separating post box lobby from public service counter
- flat roof and metal trimmed eave or fascia¹²⁸

to be eligible locally so long as any of the post office subtypes had integrity of design, materials, and workmanship. The Oregon study decided that the best example of the Thousand Series building type could be listed as being significant at the state level so far as it was a “singularly exceptional representation of the Thousand Series in the State of Oregon” and had a “high degree of integrity to convey that association.”¹²⁹ Only those Thousand Series facilities in Oregon

¹²⁷ The URS study completed before the Oregon context study found no nationally significant instances of Thousand Series post offices.

¹²⁸ URS, “Draft Report: USPS Nationwide Historic Context Study”, 3-33.

¹²⁹ Tess, “U.S. Post Office Department Facilities in Oregon, 1940 to 1971”, 22.

owned by the USPS from 1961 to 1970, of which only six were found, were evaluated for National Register eligibility.

National Register Eligibility by Subtype

Based on the Kansas analysis, this author suggests that all three of the studied subtypes are eligible under more than one area of significance and therefore in each subtype below, the discussion addresses:

- National Register criteria
- area of significance
- period of significance
- level of significance
- justification
- required aspects of integrity
- Example table of a potentially eligible surveyed facility

COMBINED POST OFFICE AND FEDERAL BUILDINGS

- *Criterion and Area of Significance:* Criterion A: Politics/Government, Criterion C: Politics/Government
- *Period of Significance:* 1955-1968
- *Level of Significance:* State/Local

The National Register Area of Significance category theme Politics/Government is defined by *National Register Bulletin 16* as being “The enactment and administration of laws by which a nation, State, or other political jurisdiction is governed; activities related to political process.”¹³⁰ *National Register Bulletin 13* tailors the definition to post offices as follows, “Represents an early or important period of governmental or postal service in the community, State, or nation” or “Represents or symbolizes the democratic aspects of the Federal government in the community.”¹³¹ The combined post office and federal building subtype is relatively unique with few instances documented in the state of Kansas. These facilities are highly reminiscent of the

¹³⁰ National Park Service, *National Register Bulletin 16*, 41.

¹³¹ National Park Service, *National Register Bulletin 13*, 13.

New Deal post offices constructed in the 1940s, which emphasize the federal government's presence in downtown areas making them significant to those communities in which they were constructed.

Combined post office and federal buildings may be considered significant at the state level considering there were only five documented instances of their construction throughout the state of Kansas. The period of significance for each individual facility should be listed the year of construction. Important character-defining features for association with Politics/Government are:

- Location near 'downtown'
- Freestanding Flagpole
- Exterior 'name plate' denoting the building as a combined post office and federal building
- Exterior federal seals
- Exterior dedication plaque
- Interior tri-display case
- Clear delineation of interior space (usually by floor)


The facilities listed under Criterion A: Politics and Government should ideally have all seven aspects of integrity but must minimally have integrity of design, location, setting, and materials as the design of the combined post office and federal buildings are still relatively unique, the setting is still in the downtown as compared to a suburban or light industrial setting and the materials are often finer with more ornamentation afforded for the subtype.

The Sedan Post Office could be considered eligible under Criterion A: Politics/Government or Criterion C: Politics and Government because it "Is a good example or prototype of Federal design and construction standards and policies" (Table 4).¹³² The Sedan post office and federal building is the first combined post office and federal building constructed in the state of Kansas. The Sedan post office illustrates the necessary character-defining features, such as the multi-story asymmetrical massing found to be synonymous with the subtype.

¹³² National Park Service, *National Register Bulletin 13*, 13.

Similarly, to Criterion A: Politics and Government, integrity of design, setting, materials, and location are required for association with Criterion C: Politics and Government.

Table 5: Example of a potentially eligible combined post office and federal building under Politics/Government (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
Sedan Post Office and Federal Building 	Politics/ Government	State/Local	1958	<ul style="list-style-type: none"> -Constructed between 1955-1968 -Owned by the USPS -Located in or near ‘downtown’ -Use of Lot Type D in <i>Building Design</i> (1959) -Street Parking -Drive through mail drop off -Freestanding flagpole -More than one story tall -Flat roof -Rectangular massing -Asymmetrical façade -Exterior dedication plaque -Use of brick veneer, different bond types allowed -Exterior granite detailing near windows and doors on the primary façade -Exterior aluminum post office name plate -Exterior Aluminum federal seals -Interior tri-display case in interior lobby 	<ul style="list-style-type: none"> -Design -Setting -Materials -Location

- *Area of Significance:* Criterion C: Modernist Architecture
- *Period of Significance:* 1955-1968
- *Level of Significance:* State/Local

The combined post office and federal building subtype is also being recommended under Criterion C: Modernist/International Architecture which is inherently unique to the Thousand Series post offices. Postmaster General Summerfield’s emphasis on modern efficient post offices is the first federal adoption of modernist architecture in a federal context. Although some communities might have had examples of private modernist architecture, the combined post office and federal building marks the first modernist federal building in many communities. National Register Bulletin 13 notes that in order to be eligible under Criterion C a post office must be “... a rare example of an important building or architectural tradition, style, period, or policy in a community, state, or nation”¹³³ The four combined post office and federal buildings are the first instance of the Thousand Series type and modernist federal style, making them potentially eligible for the National Register at both the state and local level. In order to be considered eligible, the following character-defining features must be met:

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> • Flat roofs • Large aluminum picture windows • Brick or Stone Veneers • Granite accents • Multiple Stories • Near ‘downtown’ • Rectilinear footprint | <ul style="list-style-type: none"> • Minimal exterior ornamentation, not including differentiation between building materials • Drive through mail drop-offs • Asymmetrical facades • Use of Lot Type D in <i>Building Designs</i> (1959) • Exterior Dedication Plaques |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|


The period of significance for the individual property should be the date(s) of construction. All seven aspects of integrity are preferable but minimally a post office eligible for Criterion C must have integrity of design, setting, and materials. The design of modernist architecture emphasizes

¹³³National Park Service, *National Register Bulletin 13*, 11.

use of natural materials, and a streamline appearance which should be evident. Furthermore, the setting should still be in the periphery of the downtown as compared to a suburban or industrial environment. Construction materials should be a combination of then affordable construction materials which smaller fine details like the inclusion of granite accents.

Potentially eligible examples of combined post office and distribution centers eligible for Criterion C: Modernist/International architecture in Kansas are the Emporia post office and federal building. However, an example of an ineligible facility includes the Leavenworth post office and federal building which has had replacement windows, meaning it no longer has integrity of design and materials.

Table 6: Example of a potentially eligible combined post office and federal building under Modernist Architecture (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
<p>Emporia Post Office and Federal Building</p> 	<p>Modernist Architecture</p>	<p>State/Local</p>	<p>1959</p>	<ul style="list-style-type: none"> -Constructed between 1955-1968 -Owned by the USPS -Located in or near 'downtown' -Use of Lot Type D in <i>Building Design</i> (1959) -Street Parking -Drive through mail drop off -Freestanding flagpole -More than one story tall -Flat roof -Rectangular massing Asymmetrical façade -Exterior dedication plaque -Use of brick veneer, different bond types allowed -Exterior granite detailing near windows and doors on the primary façade -Exterior aluminum post office name plate -Exterior Aluminum federal seals -Interior tri-display case in interior lobby 	<p>Design Setting Materials Location</p>

MAIN POST OFFICES

- *Area of Significance:* Criterion A: Politics/Government, Criterion C: Politics/Government
- *Period of Significance:* 1954-1977
- *Level of Significance:* Local

The main post office subtype is only being considered eligible at the local level. There are several reasons for this decision, including but not limited to the repetition of post office designs throughout the state and country. Many of the post offices surveyed have exact replicas in the state of Kansas and in other states. It would only be plausible to consider the main post office subtype eligible at the state level if there was a statewide multiple property nomination form which assessed many of the duplicate designs. Although some of the main post office designs are singular in the state of Kansas, there is no telling if they were reproduced in other states. Furthermore, this study was not able to identify all the Thousand Series facilities in the state of Kansas, so those singular examples could have been repeated. As a result, any nomination of a Thousand Series main post office in the state of Kansas should be at the local level of significance. The period of significance for the individual property should be the date(s) of construction.

The Thousand Series post offices in Kansas are being considered eligible under Criterion A: Politics and Government for their association with the lease-purchase program, which dramatically changed the local community's association with the federal government. Post offices before the Thousand Series were grand examples of federal architecture owned, designed, and built by the federal government. Lease-purchase post offices were economic examples of modernist architecture owned by, designed by, built by commercial enterprises, and leased to the USPS. Similarly, for these reasons, the Thousand Series main post offices in Kansas are also considered eligible under Criterion C: Politics and Government. Character-defining features

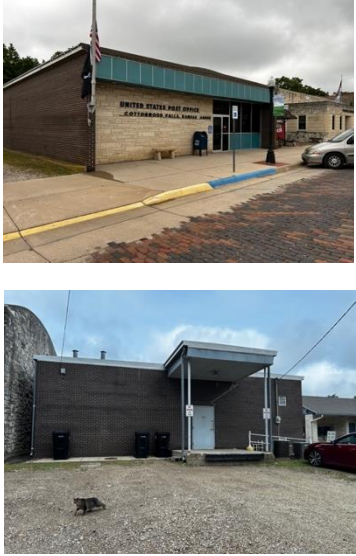
necessary for association with Criterion A: Politics/Government and Criterion C: Politics and Government are:

- Use of the lease purchase program
 - Previously leased or currently leased
- Square footage between 700 and 12,000 square feet
- Association with the *Building Design* or *Family of Standard Design* brochures
- Freestanding or attached flagpole

Necessary aspects of integrity to be eligible under Criterion A or Criterion C: Politics and Government are design and setting, location, materials, and workmanship. Design should be evident based on the similarity to *Design Guidelines* (1959/1963). Setting for the main post office subtype is either in a suburban area or in rural towns on the periphery of the downtown. Materials of the Thousand Series main post office are the most economic manufactured materials with little emphasis on interior or exterior ornamentation. Workmanship similarly to materials should evidence the most modern economically efficient construction trends of the period.

The Cottonwood Falls Main Post Office is a representative example of a potentially eligible main post office in the state of Kansas.

Table 7: Example of a potentially locally eligible main post under Politics/Government (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
<p>Cottonwood Falls Main Post Office</p> 	<p>Politics/ Government</p>	<p>Local</p>	<p>1964</p>	<ul style="list-style-type: none"> -Design based on Building Design (1959/1964 -Leased by the USPS -Freestanding -Street Parking -Flat roof, one story -Asymmetrical front façade -Exterior brick AND limestone veneer -Colored aqua decorative aluminum window paneling -Interior dedication plaque -Attached flagpole -Freestanding exterior mailbox 	<p>Design Setting Materials Location Workmanship</p>

- *Area of Significance:* Criterion C: Modernist Architecture
- *Period of Significance:* 1954-1977
- *Level of Significance:* Local


The Thousand Series main post office subtype is also eligible for Criterion C:

Modernist/International Architecture. In many rural communities, the Thousand Series is the first introduction of modernist architecture into a historic downtown or residential setting. The character- defining features necessary for association with Criterion C: Modernist/International Architecture are as follows:

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> • Association with the <i>Building Design</i> or <i>Family of Standard Design</i> brochures • Located in proximity to the downtown environment, commercial district, or suburban neighborhood. • Street Parking or small side lot • Asymmetrical front façade | <ul style="list-style-type: none"> • Exterior brick or limestone veneer, stacked or running bond brick patterns • Colored decorative window paneling • Aluminum picture window walls • Strong Horizontality • Flat roof, one story • Aluminum entrance door • Attached or freestanding metal flagpole |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Ideally the nominated postal facilities would have all seven aspects of integrity but minimally a main post office should have integrity of location, design, setting, materials, workmanship, feeling and association which are represented via the necessary character-defining features. The location, design, and setting of main post offices during the Thousand Series construction period are unique because of the implementation of new shipping methods and suburbanization. The main post office subtype should either be located near the downtown, in a commercial district, or in a suburban neighborhood. Integrity of materials relates to the Thousand Series adoption of new construction materials like aluminum which can be found in the entrance doors, railings, metal siding, flag poles, or other exterior ornamentation.

Table 8: Example of a potentially locally eligible main post office under Modernist Architecture (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
<p>Pomona Main Post Office</p> 	<p>Modernist Architecture</p>	<p>Local</p>	<p>1968</p>	<ul style="list-style-type: none"> -Design based on Building Design (1959/1964 -Leased by the USPS -Freestanding -Street Parking -Front gabled roof, one story -Asymmetrical front façade -Exterior brick veneer -Colored aqua decorative aluminum window paneling -Interior dedication plaque -Freestanding flagpole -Freestanding exterior mailbox 	<ul style="list-style-type: none"> Design Setting Materials Location Workmanship

PROCESS AND DISTRIBUTION CENTERS

- *Area of Significance:* Criterion A: Communications
- *Period of Significance:* 1960-1990
- *Level of Significance:* State/National

The process and distribution subtypes are being considered potentially eligible for the National Register under Criterion C: Communications at both the state and national levels. These subtypes represent a new kind of postal facility unique to the Thousand Series and dramatically reshaped the postal distribution network thereafter. The Oregon context study indicates that some Thousand Series facilities may be eligible nationally under Criterion A: Communication. However, this study contends that process and distribution centers might qualify under Criterion C: Communication, as defined by National Register Bulletin 13, which states that they “Represents, through its design elements, the goals or achievements of the postal service.”¹³⁴

Those elements of process and distribution centers that represent the goals or achievements are:

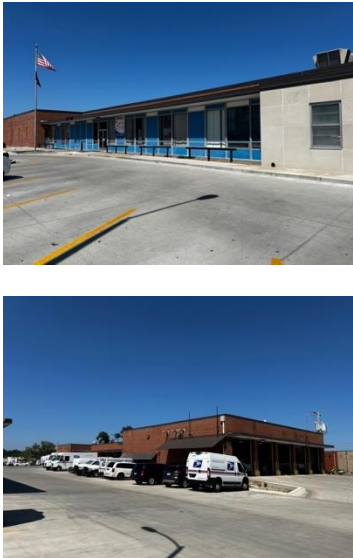
- Owned by the USPS
- Ample patron parking
- A square footage greater than 12,000 square feet
- Sprawling floor plan
- Large work rooms
- Multiple loading bays
- Large, paved maneuvering areas
- Postal machinery
- Located in a commercial or industrial part of the city, outside of the downtown area
- Vehicle maintenance center/parking for mail vehicles

These character-defining features illustrate the influences in urban planning and suburbanization which dramatically increased the amount of mail, therefore, leading to the creation of new postal facilities. The process and distribution centers in Kansas should be nominated at the state level, as each distribution center handles mail from 80-100 main post offices. The period of significance should be the date(s) of construction.

¹³⁴ National Park Service, *National Register Bulletin 13*, 12.

Ideally a nominated process and distribution center would possess all seven aspects of integrity, however, minimally should have integrity of location, setting, and materials. The location and setting of the process and distribution center should be in a light industrial or commercial setting with ample room for truck maneuverability and patron parking. The materials of an eligible of a process and distribution center should evidence economically affordable materials like brick, concrete, or metal paneling with little emphasis placed on ornamentation.

Table 9: Example of a potentially eligible process and distribution center under communications (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
Shawnee Process and Distribution Center 	Communications	State/National	1960	<ul style="list-style-type: none"> -Owned by the USPS -Ample patron parking in the front or side lot (20+ individual spots) -Use of Lot Type D, or has an entire block to itself -Flat or front gabled roof -Square footage greater than 12,000 square feet -Interior or exterior dedication plaque -Freestanding flagpole -Industrial or Commercial surrounding environment -Drive through mail drop-off lane 	Design Setting Materials Location Workmanship


- *Area of Significance*: Criterion C: Modernist Architecture
- *Period of Significance*: 1960-1990
- *Level of Significance*: State/Local

The process and distribution subtype are also considered potentially eligible under Criterion C: Modernist Architecture. As a new subtype, there is no classical language residual. The process and distribution subtype relies heavily on modernist construction techniques and materials. The required character-defining features for association with modernist architecture include:

- | | |
|----------------------------------------------------|----------------------------------------------------------------------------------------|
| • Ample patron parking | • Large, paved maneuvering areas |
| • A square footage greater than 12,000 square feet | • Postal machinery |
| • Sprawling floor plan | • Located in a commercial or industrial part of the city, outside of the downtown area |
| • Large work rooms | • Singularity in design |
| • Multiple loading bays | • Aluminum detailing/paneling |
| • Brick/Metal/ Stucco veneer | |
| • Proprietary construction techniques | |

Ideally a nominated process and distribution center would possess all seven aspects of integrity but minimally must contain integrity of design, setting, materials, and workmanship. The primary focus of the process and distribution center, like with all Thousand Series facilities, should emphasize economy and efficiency which is best illustrated via the use of common construction materials and construction practices. Design and setting are satisfied via the previously mentioned in the character-defining features as a process and distribution center should be located in some form of mixed-use environment which would allow for increased automobile accessibility. The Manhattan Post Office satisfies is a representative example of a potentially eligible Thousand Series process and distribution center.

Table 10: Example of a potentially eligible process and distribution center under communications (Haylee Rose).

<i>Subtype, Facility</i>	<i>Area of Significance</i>	<i>Level of Significance</i>	<i>Period of Significance</i>	<i>Character-Defining Features Present</i>	<i>Integrity</i>
<p>Manhattan Process and Distribution Center</p> 	<p>Communications</p>	<p>State/National</p>	<p>1965</p>	<ul style="list-style-type: none"> -Owned by the USPS -Ample patron parking in the front or side lot (20+ individual spots) -Use of Lot Type D, or has an entire block to itself -Flat or front gabled roof -Square footage greater than 12,000 square feet -Interior or exterior dedication plaque -Freestanding flagpole -Industrial or Commercial surrounding environment -Drive through mail drop-off lane 	<p>Design Setting Materials Location Workmanship</p>

CHAPTER 5

CONCLUSIONS

The goal of this study was to decide if the Thousand Series period of postal architecture in Kansas was eligible for the National Register at the state or local level. In order to decide I posed four specific questions pertaining to National Register eligibility including:

- What are the character-defining features of Thousand Series Post Offices?
- What is the period of significance for Thousand Series Post Offices? Are there distinct building phases whose types and styles differ or are post offices of the 1980s and 1990s different due to the modernization of construction materials and techniques?
- What are the National Register criteria for state-level and local-level significance of Thousand Series Post Offices?
- What are the nuances of aspects of integrity for state or locally significant Thousand Series Post Offices?

Each of the four questions has been answered throughout different chapters. The first question relating to character-defining features was answered in Chapter 4, where more than 40 additional character-defining features were found. The period of significance was addressed in Chapter 2, where I determined the period of significance for the Thousand Series starts in 1954. However, each Thousand Series subtype was given its own period of construction in Chapter 4 based on research and survey data discussed in Chapter 3.

The character-defining features clearly illustrated there were distinct building phases from 1950-1990, with a departure from what is traditionally considered the Thousand Series type in the 1980s and 1990s which leaned on postmodern architectural trends as compared to

modernist architectural trends. However, the causes of the different building phases were not answered. This study only has a preliminary understanding of phase two of ‘Thousand Series’ postal construction and ‘Kit of Parts’ construction. More research into this second more postmodern period of construction is needed and might start with intensive research on postal policy, privatization, and funding mechanisms of the USPS. The National Register criteria for state and local level of significance for each subtype was answered in Chapter 4, along with the required aspects of integrity.

The result of this research has shown the Thousand Series period of postal architecture is significant to be nominated to the National Register of Historic Places at the state and local level. Other historic context studies argued this mass reproduced form of architecture was architecturally insignificant. However, this study has posited that even though this form was recreated widely across the nation, it is significant as a new type and style of modernist federal architecture and its mass reproduction should not hinder its listing but instead prove its significance and therefore warrant its preservation.

Reflections

The process of conducting research and writing the thesis was a long one; throughout this process, many things could have been done differently. However, before I start to address the things I wish were different, I would first like to say that there were many things I would not change. Such as starting to conduct research in the Summer; without primary and secondary research done in the summer months, it would have been almost impossible to finish a project of this scope in the defined timeframe.

However, I would have liked to have been able to conduct interviews with the USPS Kansas and Missouri regional supervisor, whom I tried to reach by letter but was unable to contact. I also would have liked to have spoken to the former USPS Corporate Historic Preservationist, who retired just before I started my research.

If I had more financial resources, I would have spent more time at the USPS Corporate Library, which I was only able to visit for a matter of hours in early January 2025. I am still left with many questions about design guidelines for the combined post office and federal buildings and process and distribution centers. However, there was little research data available at the USPS Corporate Library on the topic. Furthermore, many potentially helpful resources pertaining to the topics I am left pondering were not able to be located during my visit.

Were I to restart this process entirely, I would have liked to have spent more time identifying all the Thousand Series postal facilities in the state but was unable to do so due to time constraints. I also would have liked to identify facilities potentially eligible under Criterion B: Association with a person significant to our past.

Further Research

The continued threats to privatize the United States Postal Service means more research on postal facilities is needed now more than ever. Those 34 states that have never conducted a statewide survey of postal architecture should include the Thousand Series in any future historic context studies. More research is needed into the national-level significance of Thousand Series postal facilities. At the moment there is still no nationally accepted guidance on the nomination of Thousand Series facilities to the National Register. The USPS should revise the URS context study in hopes of having it approved by the Keeper of the National Register. If this project were

to be re-evaluated by the USPS, I would hope that the Kit of Parts subtype would also be researched in depth to provide clarity on how different periods of modern postal architecture are distinct from one another. Further research for myself, hopefully, includes turning this document into an official Multiple Property Documentation Form, which might help the staff of the Kansas SHPO more easily identify eligible Thousand Series facilities.

Even if there are hundreds of thousands of these types of postal facilities throughout the United States, they represent a unique period in USPS and government history. The Thousand Series deserves to be preserved just as much as a more singularly ‘unique’ resources. I hope this thesis has convinced some that modernist post offices are historically significant and worthy of study.

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Appendix A

Kansas Post Office Survey

Name of Resource _____ Address _____
Population Size when PO Developed _____ Current Population _____
Classification () Building __ () Site __ () Landscape Feature__ () Structure__ ()
Object ____
Gross Building SQFT _____
Current Use _____ Original Use if Different

Date of Construction _____ () Approximate () Known
Major Changes () None () Altered () Addition () Unknown () Other
Elements of Style? List which if any

- .
- .
- .

Description of Structure (shape, size, windows/window placement)

Plan Shape _____
Emphasis () Vertical () Horizontal () Balanced
Stories () 1 () 1.5 () 2 () 2.5 () 3 () Other
Entry Façade () Symmetrical () Asymmetrical
Front Entrances () 1 () 2 () 2 () 3 () 4
List Types of Doors

Roof Types () Front Gable () Side Gable () Asymmetrical Gable () Broken Gable
() Cross Gable () Multi-Gable () Hipped () Flat () Other
Roof Material () Asphalt Roll () Clay Tile () Metal Shingle () Slate () Asphalt
Shingle () Concrete Tile () Corrugated Metal () Tar () Unknown () Other
Exterior Materials () Limestone, brick () Limestone, rusticated () Brick, common ()
)Brick, English () Brick, stacked () Brick, Flemish () Brick, painted () Brick,
running () Concrete block () Asphalt Shingle () Asbestos () Plank () Novelty
Siding () Concrete () Metal () Stucco () Wood () Other _____
Windows () Picture Window () Single Hung () Double Hung () Casement Window ()
) Sliding () Skylight Window () Awning Window () Glass Block ()
Concrete block () Floor to ceiling () Transom Window () Jalousie () Other
Outbuildings () Storage () Trash/Dumpster/Recycling () Garage () Mailboxes ()
Warehouses () Wayfinding () Flag Pole () Fences () Benches () Other
Landscape () Casual/Unplanned () Designed () Streets Trees () Shade Trees ()
) Foundation Plants () Lawn () Other

Parking () **Street** () **Side Lot** () **Drive Through** () **Front Lot** () **Rear Lot** ()
Shared Lot () **Other**

Number of Parking Spaces _____

of Entry Walkways _____

Walkway Feature () **Steps** () **Ramp** () **Railing** () **Curb Cut** () **Other**

Walkway Material () **Asphalt** () **Concrete** () **Brick** () **Decorative** () **Other**

Frontage Road () **2 lanes** () **3-4 lanes** () **>4 lanes** () **Paved** () **Unpaved**

Setting () **Urban** () **Suburban** () **Rural**

Surrounding Resources () **Residential** () **Commercial** () **Industrial** () **Institutional** ()
Mixed Use

Description/Context (commercial looks very different in a small-town vs large town)

Thousand Series Type () **Main Post Office** () **Process and Distribution Center** ()

Combined Post Office and Federal Building

Lot Layout Type () **Lot A** () **Lot B** () **Lot C** () **Lot D** () **Other**

Additional Physical Descriptions

APPENDIX B

Appendix B is all 45 post offices surveyed as part of Chapter 3. Each post office has a photograph of the front elevation, an oblique, and an aerial image with the post office site defined in red. The post offices are in chronological order by subtype with combined post office and federal building first, main post offices second, and process and distribution centers discussed last. For simplicity's sake, the front facade of the post office is considered north regardless of siting.

Combined Post Office and Distribution Centers

Sedan



Figure B7: Front elevation of the Sedan Post Office and Federal Building (Haylee Rose, 2025)



Figure B2: Eastern oblique of the Sedan Post Office and Federal Building (Haylee Rose, 2025)



Figure B3: Aerial image of the Sedan Post Office and Federal Building. The post office is in the downtown area of rural Sedan located on a corner lot with parking on the front elevation and a drive-through mail drop-off lane on the eastern elevation. The post office has sidewalks on both the front and eastern elevations. (Google Maps, 2024).

The Sedan Post Office is a two-story freestanding building located on a corner lot in downtown, Sedan, population 1,000. The post office has street parking on the front and east elevations. A parking lot for employees and mail vehicles can be found on the south elevation. The post office features two loading bays on the south façade and a drive-through mail drop-off on the east elevation. The combination of these factors indicates the lot is type ‘C’ from *Building Designs*. The surrounding environment consists of historic and contemporary commercial buildings many of which appear to be vacant.

Constructed as a combined office and federal building in 1958, the Sedan Federal Building located in Sedan, Chautauqua County has an asymmetrical façade and an ‘L’ shaped envelope with a flat roof. When the post office was constructed the population of Shawnee was 1,640. The post office has a site of 7,650 square feet and is owned by the USPS. The exterior is clad in a red American bond brick veneer with granite and limestone accents surrounding the window and front entrance. The roofline has an aluminum cornice. A majority of the windows are 2/2 double-hung sash aluminum frame windows. However, the entrance is surrounded by the traditional aluminum picture windows. The exterior has a granite dedication plaque that reads “Dwight D. Eisenhower/ President of the United States/ 1958”.

Landscape features surrounding the post office include a freestanding flagpole, streetlights, trash cans, sidewalk on the front and eastern elevation, and wayfinding.

Emporia



Figure B4: Aerial image of the Emporia Post Office and Federal Building. The post office is located on a corner lot with sidewalk boxing in the front and eastern elevations. An alley used for mail services can be found on the western elevation and is also where the drive-through mail drop-off is located (Google Maps, 2024).



Figure B5: Front elevation of the Emporia Post Office and Federal Building (Haylee Rose, 2024).



Figure B6: Western oblique of the Emporia Post Office and Federal Building (Haylee Rose, 2024).

The Emporia post office is a ‘split-level’ freestanding combined post office and federal building which is sited on a corner block. The post office is on a side street of downtown Emporia, population 24,139. The parking is street parking in front of the post office with a private side lot on the east elevation for postal vehicles and a rear lot for employee parking and deliveries. The combination of these factors indicates the lot is type ‘C’ from *Building Designs*. There appear to be three trucking bays on the eastern elevation. The surrounding environment is made up of historic commercial architecture and residential neighborhoods.

Constructed as combined post office and federal building in 1959, the Emporia post office in Emporia, Lyon County has an asymmetrical facade and an irregular envelope with a flat roof. The total square footage of the post office is 17,993 square feet. When the post office was constructed the population of Emporia was 18,190. The facility is currently owned by the USPS. The exterior is a combination of building materials, the two-story entrance façade is constructed of a yellow gray concrete with a geometric square pattern. Inscribed in the concrete is the building’s dedication which reads “United States of America/ Dwight D Eisenhower/ President/ 1959”. The entrance is surrounded by granite slabs with the USPS seal and an irregular shed roof.

The site conditions include sidewalks on the front and eastern elevations with an alley on the south and west elevations. The post office features a free standing flag pole, street lights, wayfinding signs, street trashcans, and newspaper boxes. Lawn and street trees are present.

Leavenworth



Figure B7: Front elevation of the Leavenworth Post Office and Federal Building (Haylee Rose, 2025).



Figure B8: West oblique of the Leavenworth Post Office and Federal Building (Haylee Rose, 2025).

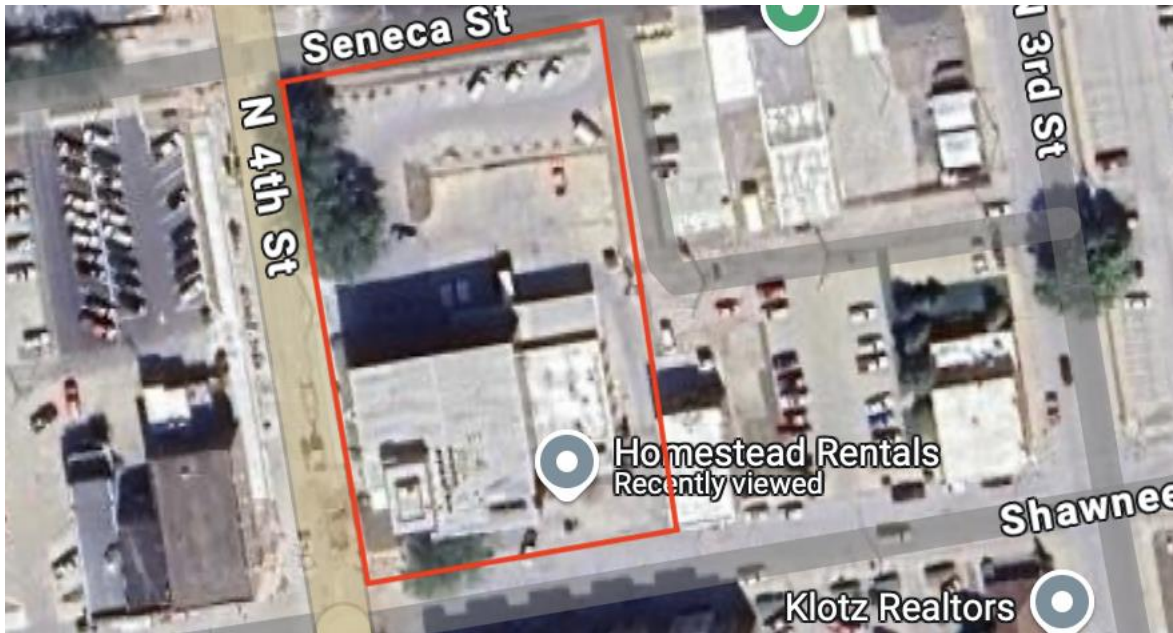


Figure B9: Aerial view of the Leavenworth Post Office and Federal Building illustrating the site composition. The Leavenworth post office is located on a corner lot in downtown Leavenworth and has sidewalks on the front, east, and west elevations with a large parking lot for postal vehicles (Google Maps, 2024).

The Leavenworth post office is a multi-story freestanding combined post office and federal building which is sited on a corner block. The post office is on a side street of downtown Leavenworth, population 37,351. The parking is street parking in front of the post office with private side lot on the east elevation for postal vehicles and a rear lot for employee parking and deliveries. The combination of these factors indicates the lot is type 'C' from *Building Designs*. There appears to be a three loading bays on the eastern elevation. A drive through mail drop-off can be found on the west elevation. The surrounding environment is made up of historic and contemporary commercial buildings.

Constructed as combined post office and federal building in 1959, the Leavenworth post office in Leavenworth, Leavenworth County has an asymmetrical facade and a rectangular envelope with a flat roof. The total square footage of the post office is 31,960 square feet. When the post office was constructed the population of Emporia was 22,052. The facility is currently owned by the USPS. The exterior is a combination of building materials including a red brick veneer in the running bond pattern, and granite underneath the bays of large picture windows which appear to be replacements. The front entrance is covered by a large horizontal aluminum awning and next to the front entrance is a dedication plaque which reads "United States of America/ Dwight D Eisenhower/ President/ 1959".

The site conditions include sidewalks on the front and western elevations with a makeshift alley on the south and eastern elevations. Other landscape features include a freestanding flagpole, brick and concrete benches, a monumental boulder with plaque, street trees, lawn, shrubs, and streetlights.

Scott City



Figure B10: Front elevation of the Scott City Post Office and Federal Building (Haylee Rose, 2025).



Figure B11: West Oblique of the Scott City Post Office and Federal Building (Haylee Rose, 2025).

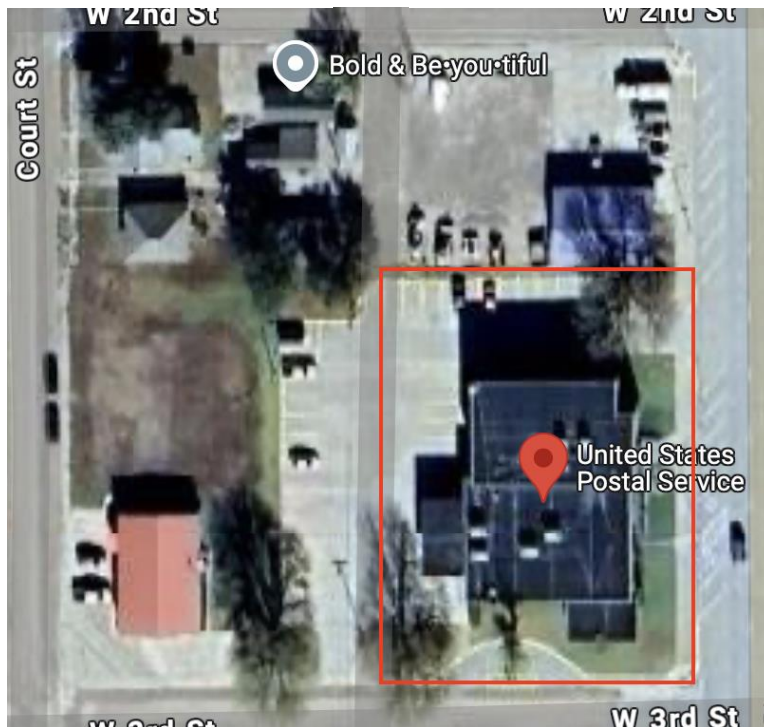


Figure B12: Aerial image of the Scott City Post Office and Federal building. The Scott City facility is located on a corner lot with street parking on the front elevation and sidewalk on the front and eastern elevations (Google Maps, 2024).

The Scott City Post Office and Federal Building is a multi-story freestanding building located on a corner lot in downtown, Scott City, population 4,113. The post office has street parking in front of the post office on the north elevation and a side parking lot for employees and mail vehicles on the rear and west elevations. The post office has one loading dock in the rear. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is comprised of both contemporary and historic commercial architecture.

Constructed as a combined post office and federal building in 1965, the Scott City Post Office and Federal Building located in Scott County, Kansas has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Glasco was 3,555. The post office has a total square footage of 6,042 and is owned by the USPS. The exterior is clad in an American bond brick veneer and concrete paneling under the aluminum awning. The entrance to the post office is accessible via a concrete ramp or concrete stairs. The front entrance is an aluminum push/pull door flanked on each side by two side lights and a transom window. All the windows are aluminum picture windows.

Landscape features surrounding the post office include a freestanding metal flagpole, a drive-through mailbox, metal streetlights, a concrete sidewalk on the front and eastern elevations.

Main Post Offices

Baldwin City Post Office



Figure B13: Front elevation of the Baldwin City Post Office (Haylee Rose, 2024).



Figure B14: West oblique of the Baldwin City Post Office (Haylee Rose, 2024).



Figure B15: Aerial Image of the Baldwin City Post Office. The post office is located on the end of the block with concrete surrounding the front and western elevations. The eastern elevation is a lawn with ancillary structures. Postal operations are accessible via the rear alley (Douglas County Tax Assessors Data, 2024).

The Baldwin City Post Office is a freestanding building located on a corner lot in downtown Baldwin, population 5,826. The post office has no dedicated public parking but has nearby downtown street parking including a rear parking lot for employees and mail vehicles. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding historic downtown environment starkly contrasts the contemporary Thousand Series post office, as the majority of the downtown area has brick roads and classic retail and office buildings constructed in the Italianate style.

Constructed as a main post office in 1960, the Baldwin City Post Office located in Baldwin City, Douglas County has an asymmetrical façade and small rectangular envelope with a flat roof. When the post office was constructed the population of Baldwin was 1,877. The post office has a site of 5,492 square feet, with a building interior square footage of 2,283. The USPS continues to lease the facility. The exterior is clad in limestone blocks and red running bond brick veneer. The recessed entrance on the left side of the front façade is surrounded by limestone and has an aluminum framed entrance, front door, side light, and transom window. The central portion of the main façade is red brick with the name and location of the post office in aluminum letters fixed into the brick veneer. To the right of the red brick to the western end of the main façade are large floor-to-ceiling three-part aluminum picture windows with limestone stools and sills. The bottom and top picture windows are covered with opaque silver siding.

Landscape features surrounding the post office include, a free-standing flagpole, limestone fence post and railing, flower beds, sidewalks on the north and west elevations, street trees, lawn, and a park.

St. John



Figure B16: Front Elevation of the St John Post Office (Haylee Rose, 2025).



Figure B17: West oblique of the St John Post Office (Haylee Rose, 2025).



Figure B18: Aerial image of the St. John Post Office. The post office is on the far end of the block on a corner lot attached to other commercial buildings. The sidewalk is located on the front and eastern elevations with postal operations accessible via the central alley located at the rear of the postal facility.

The St John Post Office is an attached building located on a corner lot in downtown St John, population 1,228. The post office has no dedicated public parking but has nearby downtown street parking including a rear parking lot for employees and mail vehicles. There is an alley on the south elevation. There is no dedicated loading dock but a large door on the south elevation. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding historic downtown environment starkly contrasts the contemporary Thousand Series post office, as the majority of the downtown area has, and classic retail and office buildings all connected.

Constructed as a main post office in 1960, the St John Post Office located in St John, Stafford County has an asymmetrical façade and small rectangular envelope with a flat roof. When the post office was constructed the population of St John was 1,753. The post office has a site of 3,456 square feet, with a building interior square footage of 2,006. The USPS continues to lease the facility. The exterior is clad in a running bond red brick veneer with concrete masonry units surrounding the door frame, the adjoining building, and the window stools. The flat roof is ornamented with an aluminum cornice. The windows are a three-part picture window with the central portion subdivided into five lights. The top and bottom portions of the window are covered with opaque aluminum siding which is also above the transom window of the entrance. The eastern elevation is all running brick veneer with two fixed windows. The rear is concrete masonry units with a fixed window, door, and aluminum awning.

Landscape features surrounding the post office include an attached flagpole, a freestanding mailbox, streetlights, sidewalk on the front and eastern elevation, metal railing on the eastern elevation

Edgerton



Figure B19: Front Elevation of the Edgerton Post Office (Haylee Rose, 2024).



Figure B20: Eastern oblique of the Edgerton Post Office illustrating the concrete masonry unit construction on the side and rear elevations with a brick veneer on the front elevation (Haylee Rose, 2024).



Figure B21: Aerial image of the Edgerton Post Office located on the end of a commercial and residential block. The post office has concrete sidewalks on the front and western elevations (Google Maps, 2024).

The Edgerton Post Office is a one-story freestanding building located on a corner lot in downtown, Edgerton, population 1,748. The post office has no dedicated public parking but has nearby downtown street parking and a rear gravel parking lot for employees and mail vehicles. The post office has no loading bays. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding environment is comprised of a mix of historic commercial and residential architecture.

Constructed as a main post office in 1961, the Edgerton Post Office located in Edgerton, Johnson County has an asymmetrical façade and a rectangular envelope with a flat roof. When the post office was constructed the population of Edgerton was 414. The post office has a site of 4,940 square feet, with a building interior square footage of 1,309. The Edgerton Post Office continues to be leased by the USPS. The exterior is clad in a combination of running bond brick veneer, and concrete over the windows and door. The windows are aluminum frame picture windows. The picture window on the east side of the front façade is a large 12-light picture window (3x4) with opaque silver panels over the first and third window and aqua paneling in the central window. The door is an aluminum push/pull door flanked by side lights and a transom window. The east and south elevations do not have a brick veneer like the other three elevations but instead, have a painted concrete masonry unit façade.

Landscape features surrounding the post office include a freestanding flagpole, a freestanding mailbox in front of the front elevation, streetlights, a sidewalk on the front and west elevation, metal railing from the crosswalk to the post office.

Glasco



Figure B22: Front elevation of the Glasco Post Office (Haylee Rose, 2025).



Figure B23: West Oblique of the Glasco Post Office (Haylee Rose, 2025).



Figure B24: Aerial image of the Glasco Post Office illustrating the mixed commercial and residential block. The Glasco post office is attached to another commercial building on the east elevation and has concrete sidewalks on the front and western elevations.

The Glasco Post Office is a one-story attached building located on a corner lot in downtown, Glasco, population 441. The east elevation of the post office is attached to another commercial building. The post office has street parking in front of the post office and a rear parking lot for employees and mail vehicles. The post office has no loading docks. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding environment is comprised of historic commercial architecture.

Constructed as a main post office in 1961, the Glasco Post Office located in Glasco, Cloud County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Glasco was 812. The post office has a site of 6,500 square feet, with a building interior square footage of 1,919. The Glasco Post Office continues to be leased by the USPS. The exterior is clad with a blond running bond brick veneer with an unknown paneling in the recessed entrance over the aluminum picture windows. The bottom of the picture windows are covered with an opaque aqua metal siding. The door is an aluminum push/pull door with an aluminum side light and transom window. To the east of the front door is an affixed metal bulletin board which is an abnormal building feature.

Landscape features surrounding the post office include an attached metal flagpole, a freestanding metal mailbox, metal streetlights, a concrete sidewalk on the front and western elevation, a metal street bench, and a metal trashcan.

Howard



Figure B25: Aerial image of the Howard Post Office illustrating the mixed-use commercial and residential block.



Figure B27: East and rear elevation of the Howard Post Office (Haylee Rose, 2025).



Figure B26: Front elevation of the Howard Post Office (Haylee Rose, 2025).

The Howard Post Office is located on a corner lot with one other business on the west elevation. The post office has no dedicated public parking but has street parking on either side of the street. A gravel lot is located on the east elevation and serves as parking for postal vehicles, employees, and loading and unloading dock. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding historic downtown environment starkly contrasts the contemporary Thousand Series post office, as much of the downtown area has brick roads and historic mass masonry buildings.

Constructed as a main post office in 1961, the Howard post office located in Howard, Elk County has an asymmetrical façade and small rectangular envelope with a flat roof and projecting awning on the east elevation. When the post office was constructed the population of Howard was 1,017. The post office has a site of 11,137 square feet, with a building interior square footage of 2,379. The Howard Post Office continues to be leased by the USPS. The exterior is clad in red running bond brick veneer with an aluminum cornice. The windows are two-part aluminum picture windows. The windows' bottom and third central panels are covered with aluminum opaque aqua siding. The detailing above the windows uses the same siding and runs from where the windows start on the western portion of the front façade until the entrance. The post office has a flagpole attached to the front façade on the eastern portion of the front façade to the left of aluminum lettering. The post office site design consists of a sidewalk on the front and western elevation with strips of lawn between the sidewalk and the road. There appears to be no other landscape features present.

Bonner Springs



Figure B28: Front elevation of the Bonner Springs Post Office (Haylee Rose, 2024).



Figure B29: East and Rear of the Bonner Springs Post Office, this is one of the only examples of a main post office with windows on a side elevation (Haylee Rose, 2024).



Figure B30: Aerial image of the Bonner Springs Post Office, located on a corner lot with concrete sidewalks on the front and eastern elevation (Google Maps, 2024).

The Bonner Springs Post Office is a one-story freestanding building located on a corner lot in downtown, Bonner Springs, population 7,837. The post office has dedicated side street parking and a rear parking lot for employees and mail vehicles. The post office has no loading docks. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding environment is comprised of historic and contemporary commercial architecture.

Constructed as a main post office in 1961, the post office located in Bonner Springs, Wyandotte County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Bonner Springs was 3,171. The site is 9,226 square feet, with a building interior square footage of 3,824. The Bonner Springs Post Office is still leased by the USPS. The exterior is clad in a combination of red and blond running bond brick veneer with an aluminum overhang over the entrance and an aluminum cornice. The windows are aluminum picture windows with an aqua metal paneling on the lower window panels. The door is an aluminum push/pull door with a side light and transom window. The front entrance is slightly recessed. The Bonner Springs Post Office is the only main post office surveyed with a bay of windows on the side elevation.

Landscape features surrounding the post office include an attached metal flagpole, a freestanding metal mailbox on the east elevation, a concrete sidewalk on the front and eastern elevation, two newspaper boxes on the front elevation, and a concrete planter on the front and eastern elevations.

Great Bend



Figure B31: Front elevation of the Great Bend Post Office (Haylee Rose, 2025).



Figure B32: West oblique of the Great Bend Post Office which is the only post office surveyed with a mural (Haylee Rose, 2025).



Figure B33: Aerial image of the Great Bend Post Office illustrating the mixed-use commercial and residential block (Google Maps, 2024).

The Great Bend Post Office is a freestanding main post office on a corner lot on a side street of downtown Great Bend, population 14,733. The post office has street parking lot on the front and western elevations. The post office has a private rear lot, visible from the western elevation, for postal vehicles and a rear lot for employee parking and deliveries. The post office has one visible bay for loading and unloading. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is a mix of contemporary and commercial architecture and contemporary and historic residential architecture.

Constructed as a main post office in 1961, the Garden City Post Office in Finney County, Kansas has an asymmetrical facade and a rectangular envelope with a flat roof. The total square footage of the post office is 15,022 square feet and is owned by the USPS. When the post office was constructed the population of Great Bend was 16,670. The downtown Great Bend Post office is currently owned by the USPS. The post office is clad in a blonde running bond brick veneer with aluminum picture windows. The bottom sashes of the windows to the east of the front entrance have cream-colored aluminum paneling. The front entrance on the west side of the front elevation is recessed and accessible via concrete stairs or concrete ramp. There are metal railings on either side of the ramp and stairs. The front entrance is an aluminum push/pull door flanked by an aluminum side light and topped by an aluminum transom window. Noteworthy features include a mural on the west elevation

The site conditions include concrete sidewalks on the front and eastern elevations, a freestanding metal flagpole, and a metal railing on the east and west sides of the front entrance. Various street furniture including two benches, a metal newspaper stand, and a limestone mailbox. Landscaping includes foundation planting and shade trees.

Tescott



Figure B34: Front elevation of the Tescott Post Office (Haylee Rose, 2025).



Figure B35: East oblique of the Tescott Post Office (Haylee Rose, 2025).



Figure B36: Aerial image of the Tescott Post Office located on the corner lot surrounded by contemporary commercial architecture like metal Quonset huts and prefabricated metal buildings (Google Maps, 2024).

The Tescott Post Office is located on a corner in downtown Tescott, population 265. The post office is a freestanding building and has no dedicated public parking. A gravel lot is located south elevation and serves as parking for postal vehicles, and employees, and a loading and unloading dock. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding downtown closely mimics the modern Thousand Series construction. The building next door to the post office is a non-permanent metal Quonset hut.

Constructed as a main post office in 1961, the Tescott post office located in Ottawa County has an asymmetrical façade and small rectangular envelope with a flat roof and projecting awning on the south elevation. When the post office was constructed the population of Tescott was 396. The post office has a site of 5,000 square feet, with a building interior square footage of 1,472. The USPS currently leases the post office. The exterior is clad in a blonde running bond brick veneer with an aluminum transom above the front entrance. The window is a 12-light aluminum picture window. The front door is an aluminum push/pull door with an aluminum side light to the west of the front door and an aluminum transom window. Notable features at the Tescott post office include an exterior dedicatory plaque to Thomas Eugene Scott whom the town was named after. The post office also has an attached flagpole.

The post office site design consists of concrete sidewalks on the front and eastern elevation. Metal railings lead to the front entrance as well as a freestanding metal mailbox. No landscaping is present at the site.

Burrton



Figure B37: Front elevation of the Burrton Post Office (Haylee Rose, 2024).



Figure B38: Rear elevation of the Burrton Post Office (Haylee Rose, 2024).



Figure B39: Aerial image of the Burrton Post Office which is one of the few examples of a post office located on an interior lot. Postal operations can be accessed via an alley in the center of the mixed-use commercial and residential block (Google Maps, 2024).

The Burrton Post Office is a one-story freestanding building located on a central lot in Burrton, population 861. The post office has eight dedicated public parking spots on the west elevation with overflow street parking available on the front elevation and a rear parking lot for employees and mail vehicles. There are no loading docks present. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of a mix of contemporary and commercial residential architecture.

Constructed as a main post office in 1961, the Burrton Post Office located in Burrton, Harvey County has an asymmetrical façade and rectangular envelope with a metal front gabled roof. When the post office was constructed the population of Burrton was 774. The post office has a site of 6,000 square feet, with a building interior square footage of 1,606. The Burrton Post Office is still leased to the USPS. The exterior is clad with a combination of running bond brick veneer and corrugated metal paneling in the gable peak. The windows are aluminum frame picture windows with opaque aqua metal siding on the bulkhead. The entrance is recessed on the west side of the front elevation. The door is an aluminum push/pull door.

Landscape features surrounding the post office include a metal freestanding flagpole, a freestanding metal mailbox located under the recessed entrance, concrete sidewalk on the front and west elevations, metal railing on the west side of the front elevation closest to the entrance. The post office has lawn between the street and sidewalk on the front elevation and foundational plantings on the west side of the front elevation.

Garnett



Figure B40: Front elevation of the Garnett Post Office (Haylee Rose, 2025).



Figure B41: Rear and east elevations of the Garnett Post Office (Haylee Rose, 2025).

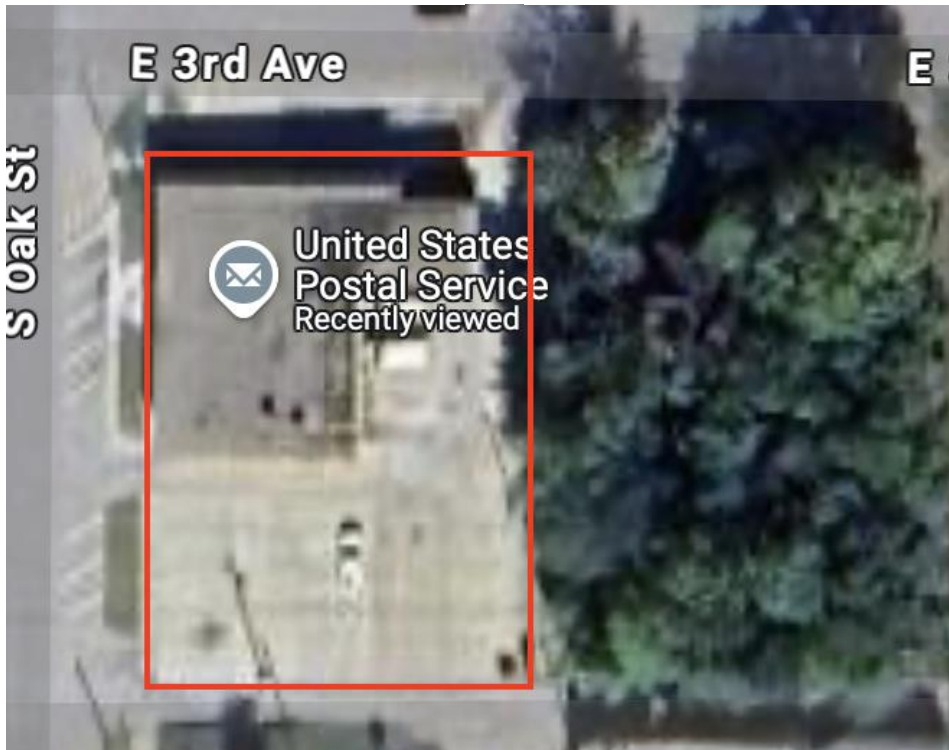


Figure B42: Aerial image of the Garnett Post Office showing the post office on its own continued section of a block with nothing immediately surrounding the post office (Google Maps, 2024).

The Garnett Post Office is a one-story freestanding building located on a corner lot in Garnett, population 3,242. The post office has street parking in front of the post office and on the eastern elevation with a rear parking lot for mail vehicles and a western parking lot for employees and overflow customer parking. The post office has no loading docks. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of historic residential architecture.

Constructed as a main post office in 1962, the Garnett Post Office located in Anderson County, Kansas has an asymmetrical façade and an 'L' shaped envelope with a flat roof. When the post office was constructed the population of Garnett was 3,034. The post office has a site of 11,800 square feet, with a building interior square footage of 4,211. The USPS continues to lease the Garnett Post Office. The exterior is clad in running bond brick veneer with stucco paneling. The windows are slender rectangular aluminum windows with small square aqua tiles above and below the window frame. The bottom sash of the window appears to be operable, but it is undetermined if it is a hopper/awning or hung sash window. Windows are present on both the front and west facades. The front door is an aluminum push-pull door flanked by two side lights and a transom window.

Landscape features surrounding the post office include an attached metal flagpole, a concrete sidewalk on the front and eastern elevation, and lawn between the road and sidewalk.

Liberal



Figure B40: Front elevation of the Liberal Post Office (Haylee Rose, 2025).



Figure B41: East elevation of the Liberal Post Office (Haylee Rose, 2025).



Figure B42: Aerial image of the Liberal Post Office showing the post office located on a corner lot with an alley on the rear elevation, concrete sidewalks on the front and east elevations, and a postal parking lot on the west elevation (Google Maps, 2024).

The Liberal Post Office is a freestanding main post office on a corner lot on a side street of downtown Liberal, population 19,825. The post office has street parking lot on the front and western elevations. The post office has a private rear lot, visible from the western elevation, for postal vehicles and a rear lot for employee parking and deliveries. The post office has one visible bay for loading and unloading. There is a drop-off mail lane in the alley on the eastern elevation. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is a mix of contemporary and historic institutional and commercial architecture.

Constructed as a main post office in 1962, the Liberal Post Office in Seward County, Kansas has an asymmetrical facade and a rectangular envelope with a flat roof. The total square footage of the post office is 11,490 square feet and is owned by the USPS. When the post office was constructed the population of Liberal was 13,813 and is currently owned by the USPS. The post office is clad in a limestone veneer on the front façade and a combination of paneling and running bond red brick veneer on the side and rear elevations. The windows are aluminum picture windows. The front entrance is accessible via stairs on the west side of the front elevation and a ramp with metal railing directly in front of the entrance. The front entrance itself is a double aluminum push/pull door.

The site conditions include concrete sidewalks on the front and western elevations with an alley on the eastern elevation. The post office has a freestanding metal flagpole and a metal railing directly in front of the post office, concrete steps, and planting beds with foundational plantings and gravel on the west side of the front elevation.

Lincoln



Figure B43: Front elevation of the Lincoln Post Office (Haylee Rose, 2025).



Figure B44: Eastern Oblique of the Lincoln Post Office (Haylee Rose, 2025).

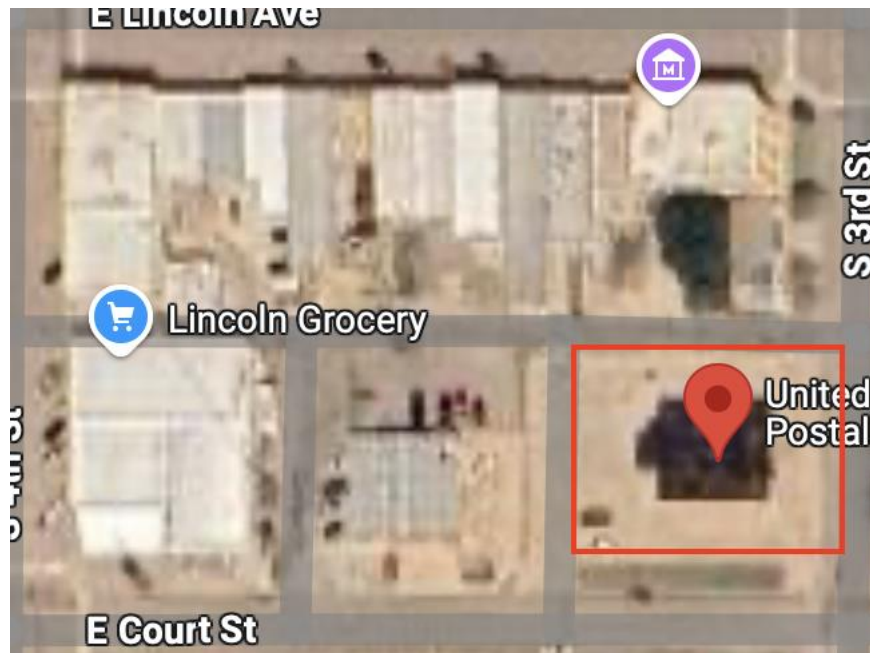


Figure B45: Aerial image of the Lincoln Post Office showing its location on a corner lot in a commercial block surrounded on all sides by concrete parking and sidewalks (Google Maps, 2025).

The Lincoln Post Office is a one-story freestanding building located on a corner lot near downtown Lincoln, population 1,171. The post office has street parking in front of the post office and on the eastern elevation with a rear parking lot for mail vehicles. There is a drive-through mail drop-off and a small parking lot on the west elevation. The post office has no loading docks. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is comprised of historic institutional and residential architecture with a limestone Carnegie Library cattycorner to the post office.

Constructed as a main post office in 1964, the Lincoln Post Office located in Lincoln County, Kansas has an asymmetrical façade and a rectangular envelope with a flat roof. When the post office was constructed the population of Lincoln was 1,717. The post office is leased by the USPS and has a site of 18,000 square feet, with a building interior square footage of 3,079. The exterior is clad in a rusticated limestone veneer with aluminum picture windows on the front facade. The bottom sashes of the window have aqua-aluminum siding. The aqua siding is also present above the windows at the roofline. The side and rear elevations are clad in a blond running bond brick veneer with fixed aluminum windows and operable panels in the bottom sash. The front entrance is a pair of aluminum push/pull doors with an aluminum transom window.

Landscape features surrounding the post office include a freestanding metal flagpole, a concrete sidewalk, and a concrete parking lot surrounding all four elevations. The front elevation also has limestone planters on either side of the front entrance.

Minneapolis



Figure B46: Front elevation of the Minneapolis Post Office (Haylee Rose, 2025).



Figure B47: West Oblique of the Garnett Post Office (Haylee Rose, 2025).



Figure B48: Aerial image of the Minneapolis Post Office illustrating the post office on an interior lot next to commercial buildings and a war memorial. The rear of the post office is accessible via an alley at the rear of the post office (Google Maps, 2024).

The Minneapolis Post Office is a one-story freestanding building located on a corner lot in downtown Minneapolis, population 1,946. The post office has street parking in the front and eastern elevations with a rear parking lot for mail vehicles. The western elevation has a drive-through mail drop-off. The post office has no loading docks. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of lawn memorials and contemporary commercial architecture.

Constructed as a main post office in 1964, the Minneapolis Post Office in Ottawa County, Kansas, features an asymmetrical façade and a rectangular shape with a flat roof. At the time of its construction, the population of Minneapolis was 2,024. The post office is leased by the USPS and sits on a site of 10,080 square feet, with an interior square footage of 3,427. The exterior is finished with a red running bond brick veneer, limestone window stools, aluminum picture windows, and aqua aluminum siding in the transom windows. The front entrance is accessible by either concrete steps directly in front of the post office or a concrete ramp with metal hand railings on the west side of the front façade. The aluminum post office signage is not located on the brick veneer but is instead over the picture windows.

Landscape features surrounding the post office include a World War monument with its freestanding metal flagpole on the lawn on the east side of the post office. The post office itself has an attached metal flagpole on the west side of the front elevation, a concrete sidewalk, and a freestanding mailbox on the west elevation.

Cottonwood Falls



Figure B49: East oblique of the Cottonwood Falls Post Office (Haylee Rose, 2024).



Figure B50: Front elevation of the Cottonwood Falls Post Office (Haylee Rose, 2024).

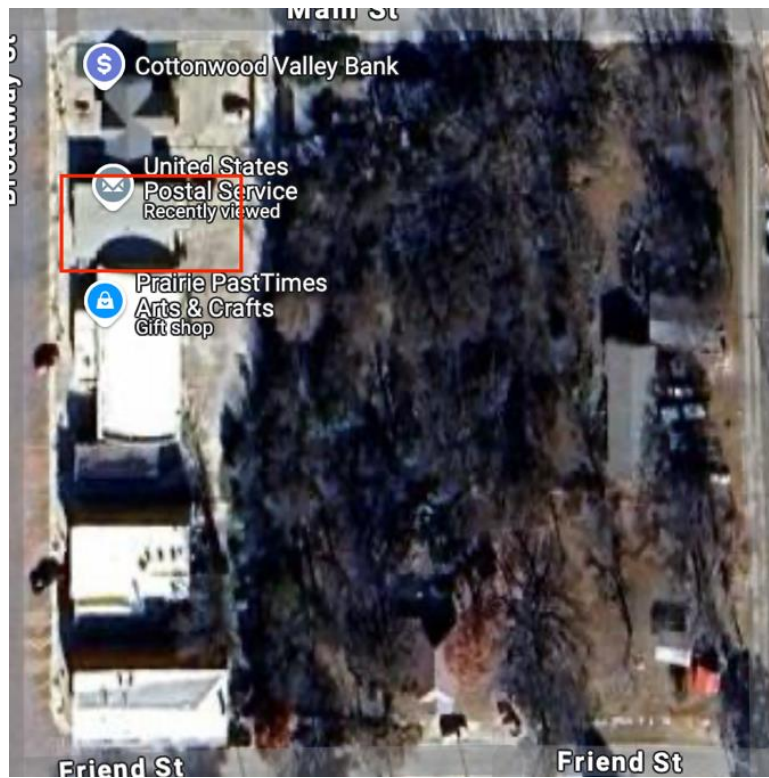


Figure B51: Aerial image of the Cottonwood Falls Post Office showing the mixed commercial and residential block (Google Maps, 2024).

The Cottonwood Falls Post Office is a one-story, freestanding building flanked by two other structures in downtown Cottonwood Falls, which has a population of 851. The post office offers street parking in front and a rear parking lot designated for employees and mail vehicles. It does not feature loading docks. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding area includes a mix of contemporary and historic commercial architecture. The building on the west side is constructed in the Art Deco style, likely dating back to the early 1930s.

Constructed as a main post office in 1964, the Cottonwood Falls Post Office located in Chase County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Cottonwood Falls was 971. The post office has a site of 7,150 square feet, with a building interior square footage of 2,348. The Cottonwood Falls post office is currently leased by the USPS. The exterior is clad with a dark brown running bond brick veneer and a limestone veneer in the random coursed ashlar pattern. The windows are aluminum picture windows with aqua-colored aluminum paneling in the bottom portion of the window and the cornice at the top of the building. The front door is an aluminum frame push-pull door flanked on the west side by an aluminum side light and an aluminum transom window.

Landscape features surrounding the post office include an attached metal flagpole, a freestanding metal mailbox, metal streetlights, a concrete sidewalk on the front and western elevation, a metal street bench, and a trashcan.

North Newton



Figure B52: Front elevation of the North Newton Post Office (Haylee Rose, 2024).



Figure B53: West oblique of the North Newton Post Office (Haylee Rose, 2024).



Figure B54: Aerial Image of the North Newtown Post Office located on a central lot on a mixed-use commercial and residential block (Google Maps, 2024).

The North Newton Post Office is a one-story, freestanding building flanked by two other structures in downtown North Newton, population 1,814. The post office offers street parking in front and a rear parking lot designated for employees and mail vehicles. It does not feature loading docks. The front elevation has a drive-through drop-off mail lane. These factors suggest that the lot is classified as type 'D' according to *Building Designs*. The surrounding area includes a mix of residential and institutional architecture.

Constructed as a main post office in 1966, the North Newton Post Office located in Harvey County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of North Newton was 890. The post office has a site of 8,054 square feet, with a building interior square footage of 2,284. The North Newton post office is currently leased by the USPS. The exterior is clad in a blond running bond brick veneer with slender rectangular picture windows with red aluminum siding in the bottom and top sashes. The front entrance is an aluminum push/pull door flanked on either side by sidelights. The front entrance has an awning protecting the front entrance and aluminum transom windows above the awning.

Landscape features surrounding the post office include a freestanding metal flagpole, a freestanding metal mailbox, and concrete sidewalks on the front and western elevations. The site has a lawn between the street and the curb.

Pauline (Topeka)



Figure B55: Front elevation of the Pauline Post Office (Haylee Rose, 2025).



Figure B56: East oblique of the Pauline Post Office (Haylee Rose, 2025).



Figure B57: Aerial image of the Pauline Post Office located in a central lot of a strip mall on a highly frequented two-lane highway (Google Maps, 2024).

The Pauline Post Office is a one-story, freestanding building flanked by two strip malls in an industrial part of Topeka, population 126,587. The post office offers street parking in front and a rear parking lot designated for employees and mail vehicles. There is room to parallel park on the curb in front of the post office but is not considered official post office parking. The post office does not feature loading docks. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding area includes a mix of residential and institutional architecture.

Constructed as a main post office in 1966, the Pauline Post Office located in Shawnee County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Topeka was 119,484. The post office has a site of 4,550 square feet, with a building interior square footage of 1,623. The Pauline post office is currently leased by the USPS. The exterior is clad in a blonde running bond brick veneer with slender rectangular picture windows with cream aluminum siding in the top and bottom sashes. The front entrance is an aluminum push/pull door flanked on either side by aluminum picture windows and three aluminum transom windows. There is a metal railing on the west side of the front elevation.

Landscape features include an attached metal flagpole, a freestanding metal mailbox to the west of the front entrance, and concrete sidewalks on the front elevation.

Frankfort



Figure B58: Front elevation of the Frankfort Post Office (Haylee Rose, 2025).



Figure B59: West oblique of the Frankfort Post Office showing the different use of brick colors and pattern on the front and side elevations (Haylee Rose, 2025).

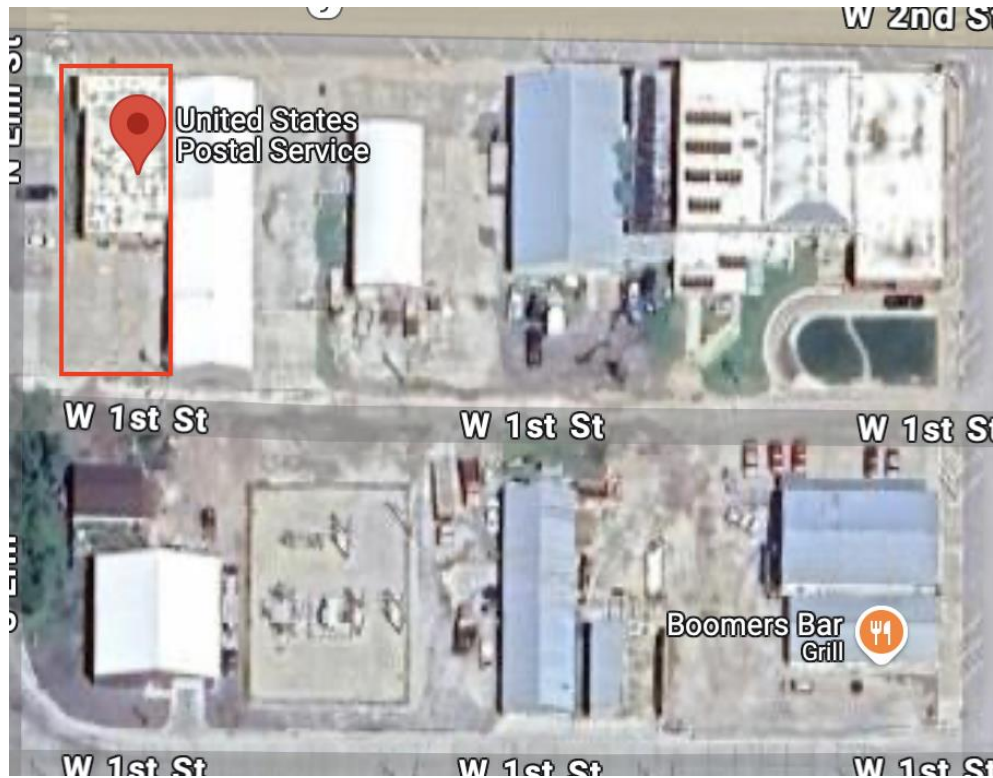


Figure B60: Aerial image of the Frankfort Post Office which is on the corner lot of a commercial block with sidewalks on the front and west elevations and a rear alley to access the loading bay (Google Maps, 2024).

The Frankfort Post Office is a one-story, freestanding building located on a corner lot in downtown Frankfort, population 730. The post office offers street parking in front elevation, with a dedicated side lot on the west elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature loading docks. These factors suggest that the lot is classified as type 'B' according to *Building Designs*. The surrounding area includes a mix of historic and commercial architecture. The building directly next the post office (but not attached) is a freestanding metal tool shed.

Constructed as a main post office in 1967, the Frankfort post office located in Marshall County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Frankfort was 1,106. The post office has a site of 7,813 square feet, with a building interior square footage of 2,624. The Frankfort post office is currently leased by the USPS. The exterior is clad in a blonde stacked bond brick veneer with slender rectangular picture windows with aqua aluminum siding in the bottom sashes. The east and west elevations are clad in a running bond brick veneer in a slightly browner brick color than the front façade. The front entrance is an aluminum push/pull door flanked on the east side by aluminum picture windows and aluminum transom windows. The aqua aluminum siding is repeated at the cornice line on the front façade partially wrapping around to the west elevation.

Landscape features include a freestanding metal flagpole, a freestanding metal mailbox on the front façade directly in front of the parking, concrete sidewalks on the front and western elevation, foundation plantings on the front and western façade, a street bench on the east side of the front façade.

Mankato



Figure B61: Front elevation of the Mankato Post Office (Haylee Rose, 2025).



Figure B62: East oblique of the Mankato Post Office (Haylee Rose, 2025).



Figure B63: Aerial image of the Mankato Post Office on a central lot in a mixed-use commercial and residential block with a central alley which accesses the rear of the post office (Google Maps, 2024).

The Mankato Post Office is a one-story, freestanding building located on a central lot in downtown Mankato, population 836. The buildings flanking either side of the post office are contemporary buildings. The post office offers street parking in front elevation, with a dedicated side lot on the west elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature loading docks. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding environment is primarily comprised of commercial architecture, the surrounding road is made of historic brick.

Constructed as a main post office in 1967, the Mankato post office located in Jewell County has an asymmetrical façade and rectangular envelope with a metal front gabled roof. When the post office was constructed the population of Mankato was 1,231. The post office has a site of 9,750 square feet, with a building interior square footage of 2,798. The Mankato post office is currently leased by the USPS. The exterior is clad in a blonde running bond brick veneer with vinyl siding in the gable peaks. The aluminum picture windows are slender aluminum picture windows with cream aluminum siding in the top and bottom sashes. The front entrance is an aluminum framed push/pull door flanked on either side by aluminum side lights and topped by an aluminum transom window. Above the transom window is another piece of cream aluminum siding.

Landscape features include a freestanding metal flagpole, concrete sidewalk on the front elevation, foundation plantings on the front façade with a wooden planter surrounding the flagpole, a street bench on the east side of the front façade.

Pomona



Figure B64: Front elevation of the Pomona Post Office (Haylee Rose, 2025).



Figure B65: West oblique of the Pomona Post Office (Haylee Rose, 2025).

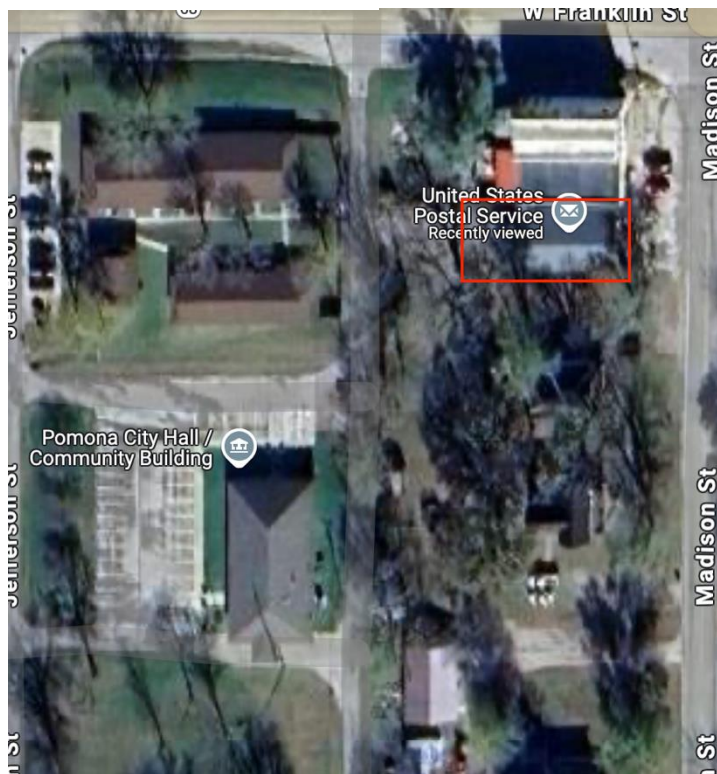


Figure B66: Aerial image of the Pomona Post Office on an interior lot in a mixed commercial and residential block (Google Maps, 2025).

The Pomona Post Office is a one-story, freestanding building located on a center lot in a residential neighborhood in Pomona, population 884. The post office offers street parking in front elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding area includes a mix of historic residential architecture and non-historic commercial architecture.

Constructed as a main post office in 1968, the Pomona post office located in Franklin County has an asymmetrical façade and rectangular envelope with a flat roof. When the post office was constructed the population of Pomona was 489. The post office has a site of 6,678 square feet, with a building interior square footage of 1,690. The Pomona post office is currently leased by the USPS. The exterior is clad in a running bond brick veneer with slender rectangular aluminum picture windows on the west side of the front elevation. The top and bottom sashes of the windows are clad with an aqua aluminum siding. The front door is an aluminum push/pull door flanked on the west by an aluminum side light and two transom windows also with aqua siding.

Landscape features include a freestanding metal flagpole, a freestanding metal mailbox on the front façade directly in front of the parking, concrete sidewalks on the front elevation, foundation plantings on the front façade with a wooden planter, and a newspaper box.

Wamego



Figure B67: Front elevation of the Wamego Post Office (Haylee Rose, 2025).



Figure B68: East oblique of the Wamego Post Office (Haylee Rose, 2025).

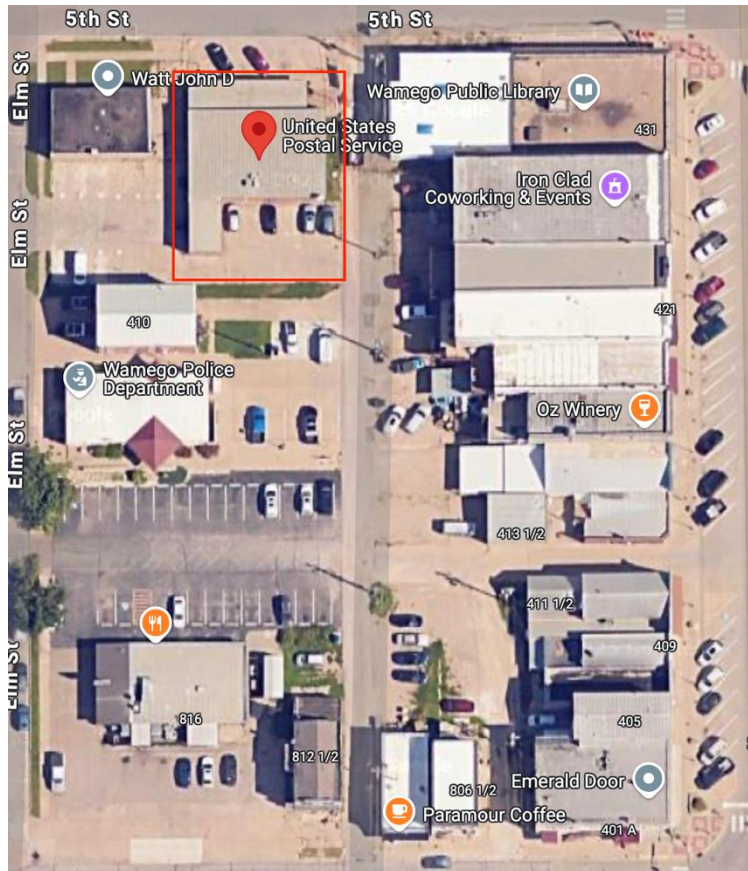


Figure B69: Aerial image of the Wamego Post Office located on an interior lot on a commercial block (Google Maps, 2024).

The Wamego Post Office is a one-story, freestanding building located on a corner lot with an alley on the west elevation. The post office is located on a side street of downtown Wamego, population 4,841. The post office offers street parking in front elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature loading docks. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding area includes a mix of historic and commercial architecture.

Constructed as a main post office in 1969, the Wamego post office located in Pottawatomie County has an asymmetrical façade and an 'L' shaped envelope with a flat roof. When the post office was constructed the population of Wamego was 2,363. The post office has a site of 13,033 square feet, with a building interior square footage of 3,559. The Wamego post office is currently leased by the USPS. The exterior is clad in a combination of limestone veneer and a red running bond brick veneer. The windows are an aluminum framed picture window with cream aluminum siding in the bottom windows. The roofline has an aluminum cornice. The front entrance is an aluminum push/pull door with flanking sidelights on either side. An aluminum railing is present between the front façade and the entrance which is located on the east elevation.

Landscape features include a freestanding metal flagpole, wayfinding signage, and concrete sidewalks on the front elevation. Between the alley and the flagpole is a concrete parking stop. Foundational shrubs surround the front entrance as well as a strip of lawn between the alley and post office.

Colby



Figure B70: Front elevation of the Colby Post Office (Haylee Rose, 2025).



Figure B71: West oblique of the Colby Post Office (Haylee Rose, 2025).



Figure B72: Aerial image of the Colby Post Office located on a corner block on a commercial block near a CO-OP and other agricultural related businesses (Google Maps, 2024).

The Colby Post Office is a one-story, freestanding building located on a corner lot with an alley on the southern elevation. The post office is located on a side street of downtown Colby, population 5,570. The post office offers street parking on the front and west elevations, with rear parking for employees and mail vehicles. The post office has six loading docks. These factors suggest that the lot is classified as type 'C' according to *Building Designs*. The surrounding area includes a mix of historic and commercial architecture.

Constructed as a main post office in 1969, the Colby post office located in Thomas County has an asymmetrical façade and a rectangular-shaped envelope with a flat roof. When the post office was constructed the population of Colby was 4,210. The post office has a site of 32,697 square feet, with a building interior square footage of 11,492, making the Colby post office one of the largest main post offices surveyed while also being leased by the USPS. The exterior is clad in a dark brown running bond brick veneer with long rectangular aluminum-framed picture windows that meet the cornice line. The windows have cream aluminum siding on the top and bottom of the windowpanes. The columns on the front and western facades are metal aluminum columns that taper from the roof to the sidewalk. The front entrance is on the corner of the front façade and west elevation and is accessible via concrete stairs with metal hand railing.

Landscape features include a freestanding metal flagpole, wayfinding signage, and concrete sidewalks on the front and western elevations. Foundational shrubs surround the front and west elevation, and a city fire hydrant.

Phillipsburg



Figure B73: Front elevation of the Phillipsburg Post Office (Haylee Rose, 2025).



Figure B74: West and front elevation of the Phillipsburg Post Office (Haylee Rose, 2025).



Figure B75: Aerial image of the Phillipsburg Post Office located on a corner of a downtown commercial block. The rear of the post office is accessible via a central alley (Google Maps, 2024).

The Phillipsburg Post Office is a one-story, freestanding building located on a corner lot. The post office is located on a side street of downtown Phillipsburg, population 3,337. The post office offers street parking on the front and west elevations, with side parking on the west elevation for employees and mail vehicles. The post office has one loading docks. These factors suggest that the lot is classified as type 'B' according to *Building Designs*. The surrounding area includes a mix of historic and commercial architecture.

Constructed as a main post office in 1970, the Phillipsburg post office located in Phillipsburg County has an asymmetrical façade and a rectangular-shaped envelope with a flat roof. When the post office was constructed the population of Phillipsburg was 3,241. The post office has a site of 23,627 square feet, with a building interior square footage of 6,958, and is also leased by the USPS. The exterior is clad in a dark brown running bond brick veneer with a white decorative cornice with square detailing. The windows are aluminum framed picture windows with a cream/peach colored aluminum paneling in the upper window sashes. Similarly, to the Colby post office, the Phillipsburg post office has tapered metal columns on the front façade. The front entrance is centrally located and is comprised of two aluminum push/pull doors flanked by side lights and an aluminum transom window. The west side elevation has built-in parking spaces for mail trucks.

Landscape features include a freestanding metal flagpole, metal streetlights, concrete sidewalks on the front and eastern elevations. The landscape is primarily lawn with two shade trees on either side of the post offices front façade.

Cimarron



Figure B76: Front elevation of the Cimarron Post Office (Haylee Rose, 2025).



Figure B77: East oblique of the Cimarron Post Office (Haylee Rose, 2025).

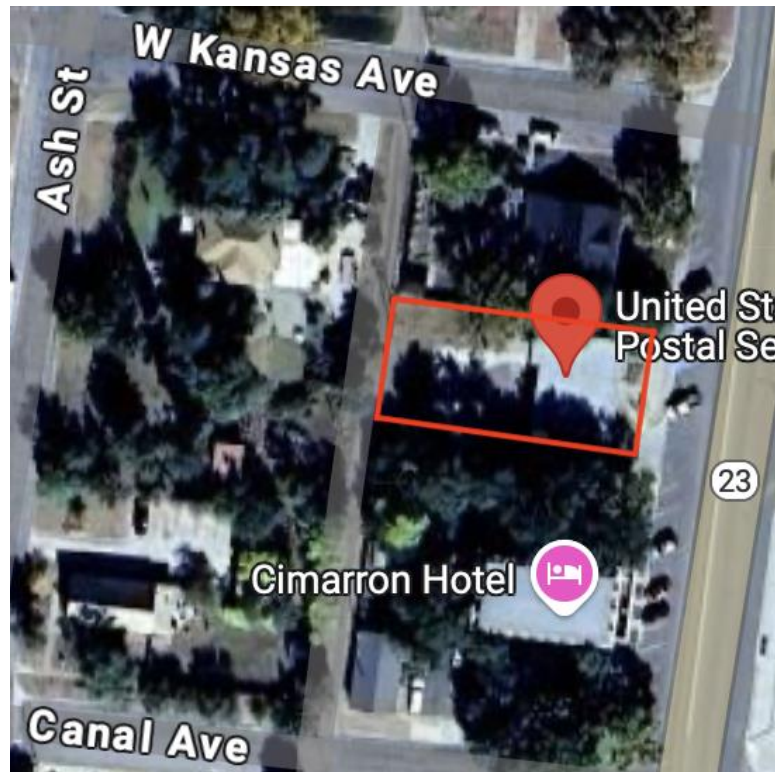


Figure B78: Aerial image of the Cimarron Post Office located on a central lot on a mixed-use commercial and residential lot (Google Maps, 2024).

The Cimarron Post Office is a one-story, freestanding building located on a central lot in downtown Cimarron, population 1,981. The post office offers street parking directly in front of the post office's front façade with side parking on the east elevation for employees and mail vehicles. The post office has one loading dock. These factors suggest that the lot is classified as type 'B' according to *Building Designs*. The surrounding area includes a mix of historic and contemporary commercial and residential architecture. The building which flanks the post office on the east side is used for commercial use, but a historic house is on the west elevation.

Constructed as a main post office in 1977, the Cimarron post office located in Gray County has an asymmetrical façade and a rectangular-shaped envelope with a flat roof. When the post office was constructed the population of Cimarron was 1,373. The post office has a site of 12,600 square feet, with a building interior square footage of 2,193, and is also leased by the USPS. The exterior is clad in a dark brown running bond brick veneer with the aluminum awning clad in wooden planks. The windows are aluminum framed picture windows. The front entrance is centrally located on the front façade and is comprised of an aluminum push/pull door flanked by aluminum side lights and an aluminum transom light. The front entrance may be accessed by a set of concrete stairs directly in front of the front entrance or via a concrete ramp on the west side of the front elevation. Both the stairs and ramp have metal hand railings.

Landscape features include a freestanding metal flagpole, a freestanding metal drop-off mailbox to the east of the front stairs, and concrete sidewalks on the front elevation. The landscape is primarily lawn with two shade trees on either side of the post office's front façade.

Lenexa



Figure B79: Front elevation of the Lenexa Post Office (Haylee Rose, 2025).



Figure B80: East oblique of the Lenexa Post Office (Haylee Rose, 2025).

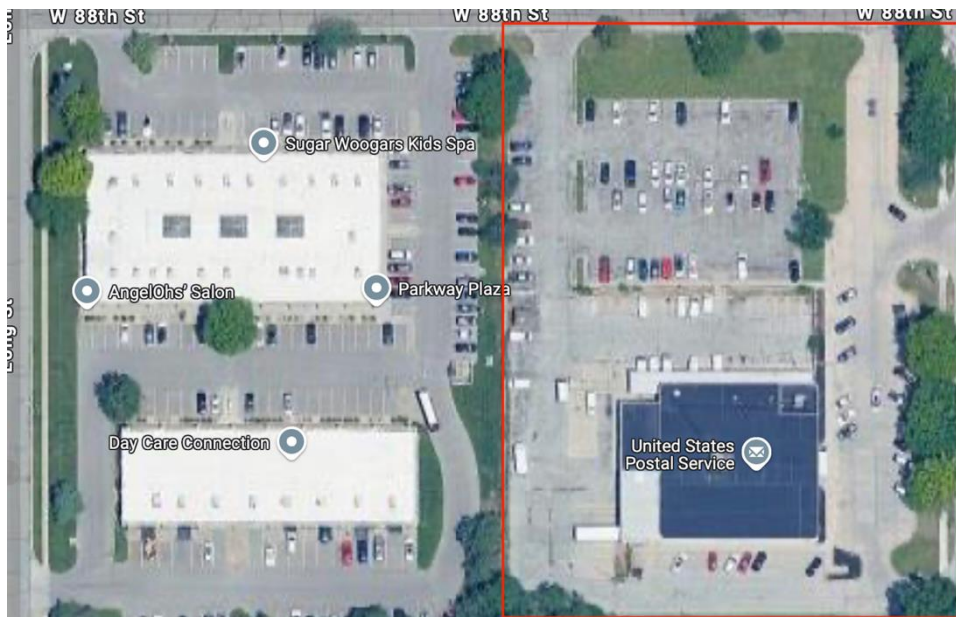


Figure B81: Aerial image of the Lenexa Post Office located on a large commercial block. The post office has a large parking lot for employees, patrons, and mail vehicles (Google Maps, 2024).

The Lenexa Post Office is a one-story, freestanding building located on a corner lot. The post office is in an industrial portion of Lenexa, population 57,434. The post office has a dedicated front parking lot, with parking for employees on the east elevation and parking for mail vehicles and loading docks on the west elevation. The post office has at least four loading docks. These factors suggest that the lot is classified as type 'D' according to *Building Designs*. The surrounding area is almost exclusively contemporary commercial architecture.

Constructed as a main post office in 1981, the Lenexa post office located in Shawnee County has a symmetrical façade and a rectangular-shaped envelope with a flat roof. When the post office was constructed the population of Lenexa was 18,639. The post office has an interior square footage of 11,400, making it one of the largest main post offices surveyed while also being leased by the USPS. The exterior is clad in a proprietary white metal veneer paneling applied in vertical sheets. The front entrance is recessed and located at the center of the front façade. The door is an aluminum framed push/pull door with a button for automatic door operation. The windows are aluminum framed picture windows. The exterior of the front façade has attached plastic flood lights. Above the front entrance is the 1971 USPS logo. The west elevation is fenced in using chain-link metal fencing.

Landscape features include wayfinding signage, and concrete sidewalks on the front elevations, metal fencing on the west elevation, and rocks in front of the recessed windows.

Peru



Figure B82: East oblique of the Peru Post Office (Haylee Rose, 2025).



Figure B83: West oblique of the Peru Post Office (Haylee Rose, 2025).

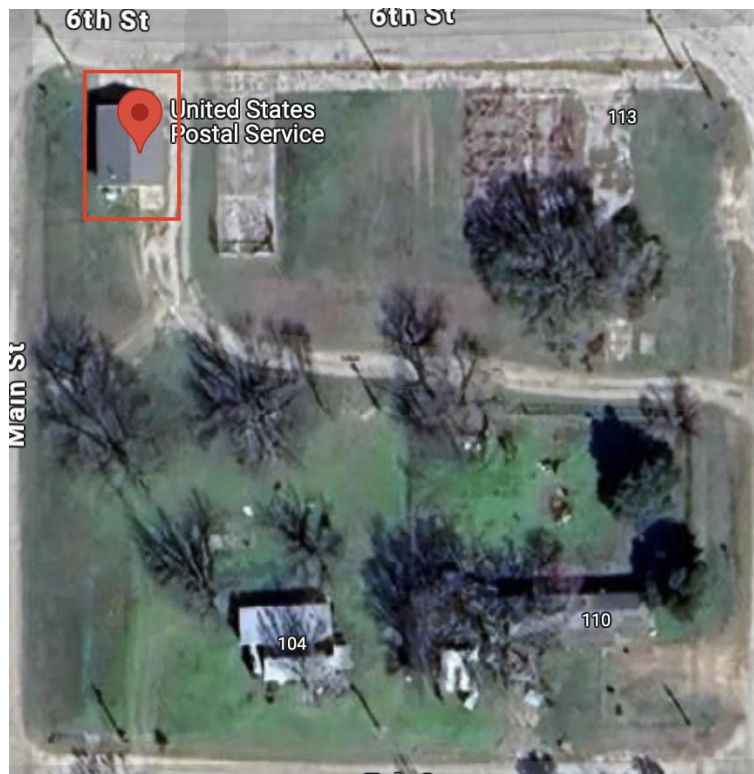


Figure B84: Aerial image of the Peru Post Office located on the corner of a residential block (Google Maps, 2024).

The Peru Post Office is a one-story, freestanding building located on a corner lot in a residential neighborhood in Peru, population 101. The post office offers street parking in front elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'A' according to *Building Designs*. The surrounding area includes historic and contemporary residential architecture.

Constructed as a main post office in 1983, the Peru post office located in Chautauqua County has an asymmetrical façade and rectangular envelope with a front gabled roof. When the post office was constructed the population of Peru was 286. The post office has a site of 6,500 square feet, with a building interior square footage of 768 and is currently leased by the USPS. The exterior is comprised of a painted brick foundation with the principal construction materials being a combination of wooden vertical board and rusticated stone veneer. The front façade has one window in the recessed window which is an aluminum picture window. The side elevations both have aluminum sliding windows. The front entrance is on the west side of the recessed entrance.

Landscape features include a freestanding metal flagpole, two planting beds on the front façade made of stone, a freestanding metal mailbox on the front façade directly in front of the parking, concrete sidewalks on the front elevation, wayfinding signage, and lawn surrounding the sides and rear of the post office.

Goddard



Figure B85: Front elevation of the Goddard Post Office (Haylee Rose, 2025).



Figure B86: Rear elevation of the Goddard Post Office (Haylee Rose, 2025).



Figure B87: Aerial image of the Goddard Post Office located on a corner lot of a mixed use residential and commercial block (Google Maps, 2024).

The Goddard Post Office is a one-story, freestanding building located on a corner lot in mixed-use block with both commercial and residential architecture, population 2,037. The post office offers a dedicated side lot on the west side elevation, and a rear parking lot designated for employees and mail vehicles. The east elevation has a dedicated drive-through mail drop-off lane. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'D' according to *Building Designs*. The surrounding area includes a mix of historic residential architecture and non-historic commercial architecture.

Constructed as a main post office in 1984, the Goddard post office located in Sedgewick County has an asymmetrical façade and rectangular envelope with a front gabled roof. When the post office was constructed the population of Goddard was 1,427. The post office has a site of 14,000 square feet, with a building interior square footage of 2,322. The Goddard post office is currently leased by the USPS. The exterior is clad in a dark brown running bond brick veneer with the recessed portions of the gable peak being stuccoed. The windows are aluminum picture windows. The front entrance is located on the east side of the recessed entrance and is an aluminum push/pull door. The east side of the front façade has the name of the post office, location, and zip code as well as the presidential seal.

Landscape features include a freestanding metal flagpole, a freestanding metal mailbox on the east façade for drive-through mail drop-off, concrete sidewalks on the front and west elevation. Other small-scale features include painted yellow concrete posts in front of the parking spaces on the west elevation, a plastic bench on top of pebbled rocks on the front elevation with a wooden planter. The post office is surrounded by lawn and there do not appear to be other foundational plantings.

Elk City



Figure B88: Front elevation of the Elk City Post Office (Haylee Rose, 2025).



Figure B89: West oblique of the Elk City Post Office (Haylee Rose, 2025).



Figure B90: Aerial image of the Elk City Post Office located on the corner of a residential block (Google Maps, 2024).

The Elk City Post Office is a one-story, freestanding building located on a corner lot in a residential neighborhood in Elk City, population 260. The post office offers street parking on front elevation, and a rear parking lot designated for employees and mail vehicles. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'C' according to *Building Designs*.

Constructed as a main post office in 1991, the Elk City post office located in Montgomery County has an asymmetrical façade and rectangular envelope with an asphalt shingled Polynesian hipped roof. When the post office was constructed the population of Elk City was 334. The post office has a site of 15,005 square feet, with a building interior square footage of 786 and is currently leased by the USPS. The exterior is a faux board and batten wood siding. The front entrance is recessed on the east side of the front elevation. The window near the front elevation appears to be a vinyl picture window. The windows on the side elevation are vinyl slider windows.

Landscape features include a freestanding metal flagpole, concrete sidewalks on the front elevation, and lawn surrounding the sides and rear of the post office.

Maize



Figure B91: Front elevation of the Maize Post Office (Haylee Rose, 2024).



Figure B92: Rear elevation of the Maize Post Office (Haylee Rose, 2024).

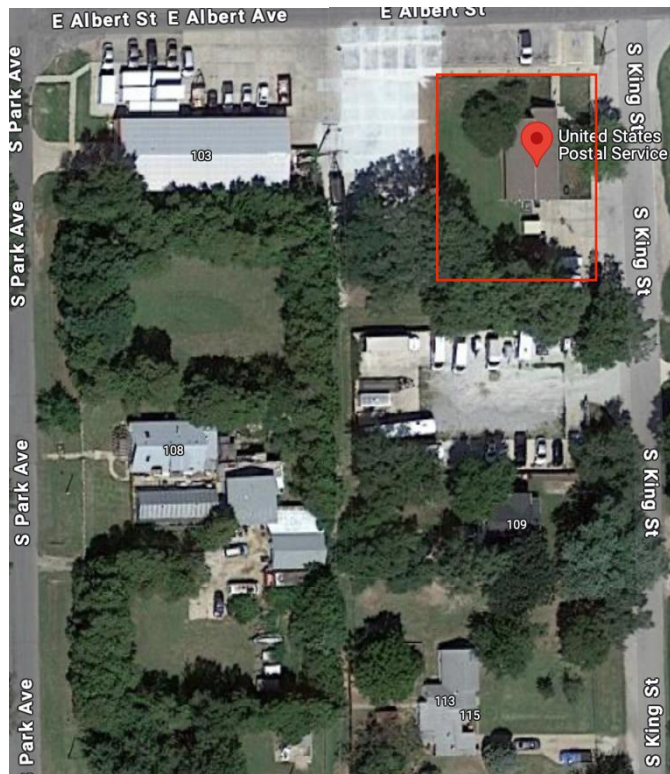


Figure B93: Aerial image of the Maize Post Office located on the corner of a mixed-use commercial and residential lot (Google Maps, 2024).

The Maize Post Office is a one-story, freestanding building located on a corner lot in a historic downtown street. The current population of Maize is 260. The post office offers street parking on front elevation, and a rear parking lot (visible from the east elevation) designated for employees and mail vehicles. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'C' according to *Building Designs*.

Constructed as a main post office in 1991, the Maize post office located in Sedgwick County has an asymmetrical façade and rectangular envelope with an asphalt shingled front gabled roof. When the post office was constructed the population of Maize was 334. The post office has a building interior square footage of 1,292 and is currently owned by the USPS. The exterior is comprised of a red running bond brick veneer with metal corrugated sheet in the gable peaks. The gabled roof is split into two sections one projecting and one recessed. The front entrance is recessed on the corner of the east side and the front elevation. The door is an aluminum push/pull door. The other windows are hung sash aluminum windows.

Landscape features include a freestanding metal flagpole, a concrete planter next to the flagpole, a concrete sidewalk on the front and east elevation, and lawn and shade trees surrounding the sides and rear of the post office.

Overland Park



Figure B94: Front elevation of the Overland Park Post Office (Haylee Rose, 2024).



Figure B95: West elevation of the Overland Park Post Office (Haylee Rose, 2024).

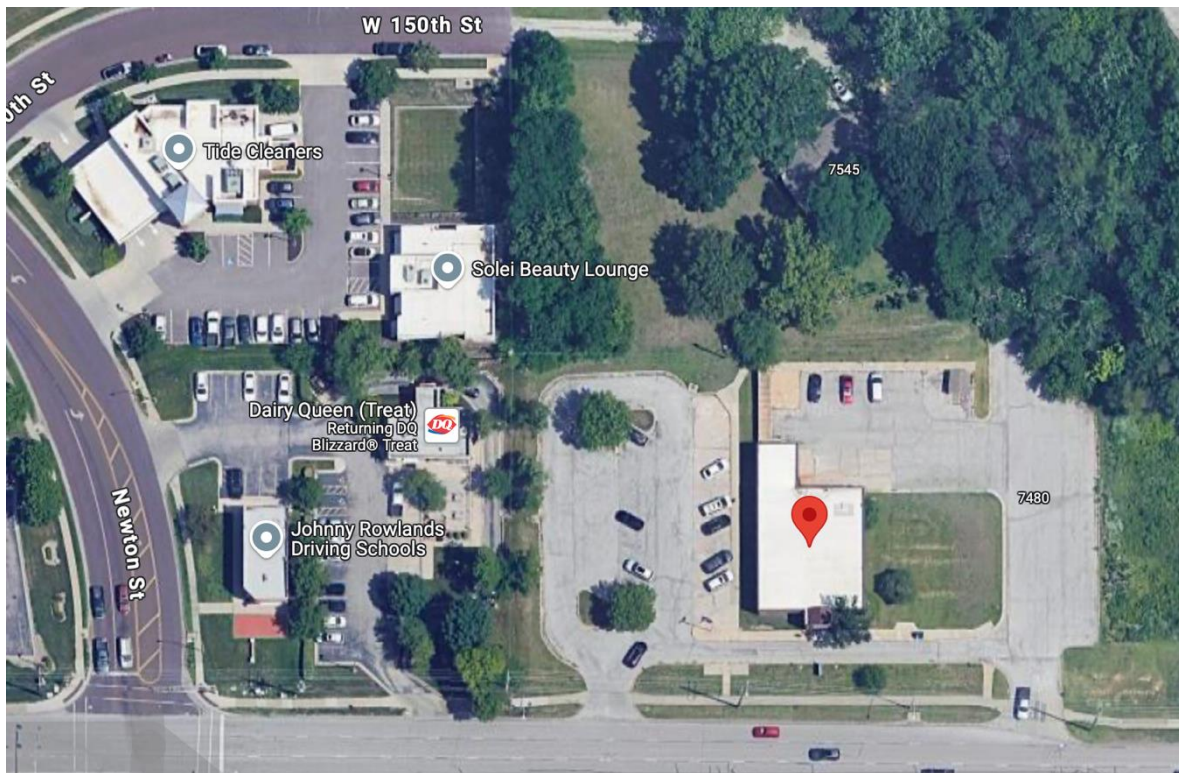


Figure B96: Aerial image of the Overland Park Post Office on the corner of a large commercial block near other contemporary commercial architecture (Google Maps, 2024).

The Overland Post Office is a one-story, freestanding building located on a busy commercial thoroughfare. The current population of Overland Park is 197,238. The post office has dedicated parking on the east and west elevations with rear parking lot designated for employees and mail vehicles. A drive-through mail drop-off lane is also present on the front elevation. The post office has two loading docks on the west elevation. These factors suggest that the lot is classified as type 'D' according to *Building Designs*.

Constructed as a main post office in 1991, the Overland Park post office located in Johnson County has a symmetrical façade and rectangular envelope with a combination of a flat roof on either side of the central gabled roof which creates the primary entrance bay. When the post office was constructed the population of Overland Park was 111,790. The post office has a building interior square footage of 3,584 and is currently owned by the USPS. The exterior is comprised of a combination of brick patterns including stacked brick and running brick veneers. The engaged columns are a series of red stacked veneer courses with a dark brown soldier course. The windows on the front elevation are aluminum picture windows, the windows on the side elevation are glass block windows surrounded by decorative brick and stonework. The entrance is aluminum push/pull front doors with an aluminum railing on the east side of the door.

Landscape features include a freestanding metal flagpole, metal trashcan, concrete sidewalk on the front elevation, lawn and shade trees surrounding the sides and rear of the post office, USPS sign on the lawn in front of the post office towards the street, and wayfinding.

Andover



Figure B97: Front elevation of the Andover Post Office (Haylee Rose, 2024).



Figure B98: East oblique of the Andover Post Office (Haylee Rose, 2024).



Figure B99: Aerial image of the Andover Post Office located on the corner lot of a strip mall in front of a large modern housing development (Google Maps, 2024).

The Andover Post Office is a one-story, freestanding building located on a corner lot in a strip mall with a subdivision behind. The current population of Andover is 14,892. The post office has dedicated parking lots on the front and eastern elevations, and a rear parking lot (visible from the east elevation) designated for employees and mail vehicles. The post office does not feature a loading dock. These factors suggest that the lot is classified as type 'C' according to *Building Designs*.

Constructed as a main post office in 1994, the Andover post office located in Butler County has an asymmetrical façade and rectangular envelope with an asphalt shingled front gabled roof. When the post office was constructed the population of Andover was 4,204. The post office has a site of 40,500 square feet and building interior square footage of 6,165 and is currently leased by the USPS. The exterior is comprised of running bond brick veneer with wood vertical board in the gable peaks. The post office has two entrances one on the front façade and another on the east façade, both have aluminum push/pull doors.

Landscape features include a freestanding metal flagpole, a concrete planter next to the flagpole, a concrete sidewalk on the front and east elevation, and lawn and shade trees surrounding the sides and rear of the post office.

Process and Distribution Centers

Shawnee

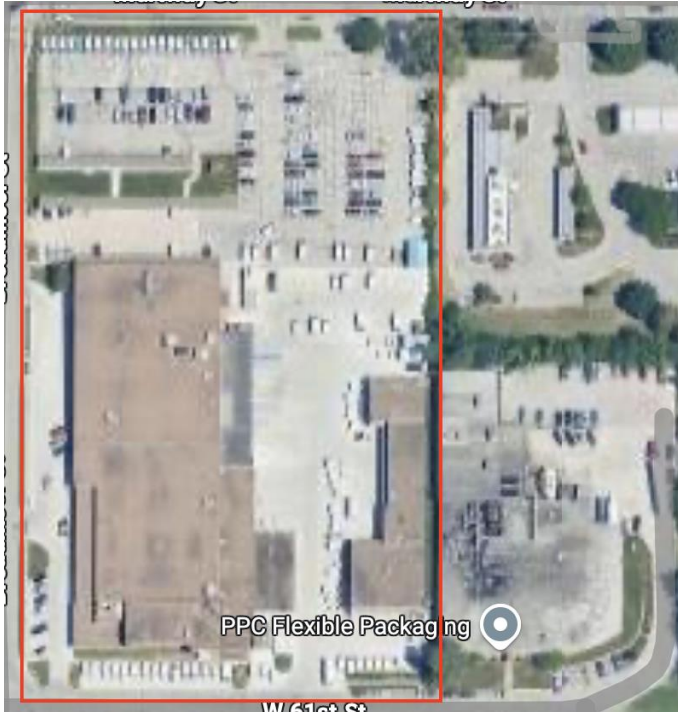


Figure B100: Aerial image of the Shawnee Process and Distribution center taking up more than half of a large commercial block (Google Maps, 2024).



Figure B101: Front elevation of the Shawnee Post Office looking east (Haylee Rose, 2024).



Figure B102: Front elevation of the Shawnee Post Office looking west (Haylee Rose, 2024).

The Shawnee Mission Post Office is a freestanding building located on its own block in Mission, population 9,954. The post office has dedicated public parking on the front elevation with side and rear parking for employees, mail vehicles, and delivery truck maneuvering. There appear to be 10-plus delivery bays from aerial images. The lot does not represent any of lot types in *Building Designs* considering this post office takes up an entire block. The rear 'U' shaped structure appears to be a garage or vehicle maintenance center. The surrounding environment is contemporary commercial architecture.

Constructed as a process and distribution center in 1960, the Shawnee Mission Post Office located in Mission, Johnson County has an asymmetrical façade and a long rectangular envelope with a flat roof. When the post office was constructed the population of Mission was 4,626. The post office is owned by the USPS and has a site of 98,740 square feet, with no interior square footage specified. The exterior is clad in a combination of red running bond brick veneer and concrete paneling on the west side of the front façade. The windows are aluminum picture windows with opaque aluminum paneling in many of the windows. Other window types present include operable 2/2 hung sash windows.

Landscape features surrounding the post office include a free-standing flagpole, a sidewalk on the front elevation, strips of lawn between the entrance and sidewalk, metal railings on the front elevation near the entrance, and wayfinding signage.

Independence



Figure B103: Front elevation of the Independence Post Office looking east (Haylee Rose, 2025).



Figure B104: West oblique of the Independence Post Office (Haylee Rose, 2024).

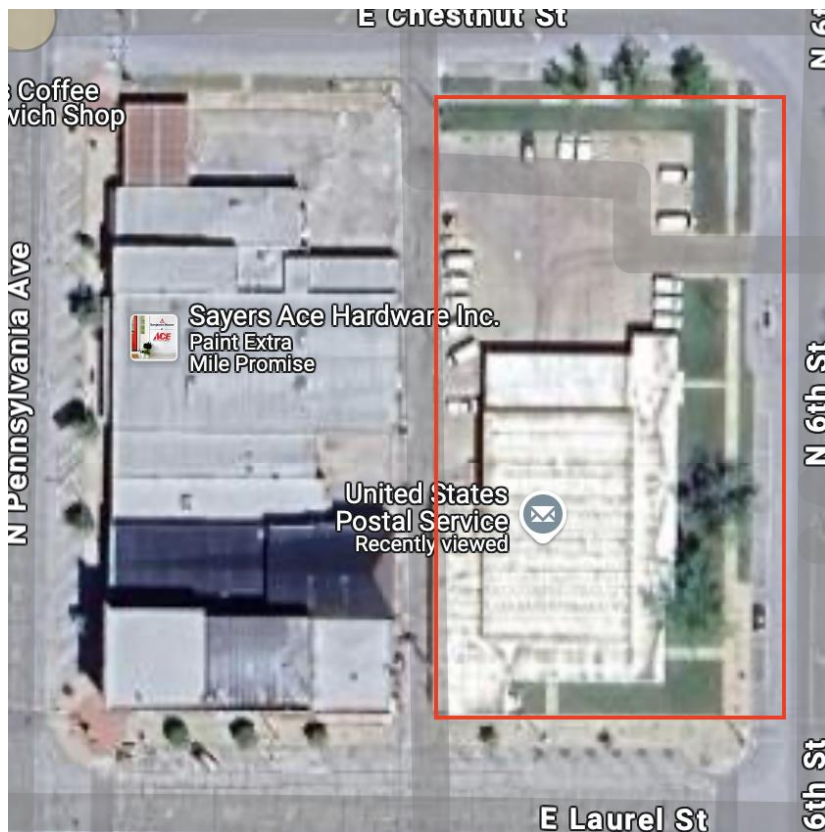


Figure B105: Aerial image of the Independence Post Office located on a corner lot taking up half a commercial block (Google Maps, 2024).

The Independence Post Office is a one-story freestanding building located on a corner lot a corner lot in downtown Independence, population 8,548. The post office has street parking on the front and west facades of the post office. A rear parking lot accessible via an alley on the east elevation is used for employee parking and mail vehicles. There is a drive-through letter drop-off on the west elevation. The post office has four loading docks. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding environment is comprised of historic commercial architecture and residential architecture to the west.

Constructed as a process and distribution center in 1962, the Independence Post Office located in Montgomery County, Kansas has an asymmetrical façade and a rectangular envelope with a flat roof. When the post office was constructed the population of Independence was 11,222. The post office has a total square footage of 14,693 and is currently owned by the USPS. The exterior is clad in a dark brown running bond brick veneer with an aluminum cornice and window hoods.

Landscape features surrounding the post office include an attached metal flagpole, a freestanding metal mailbox, metal streetlights, a concrete sidewalk on the front and western elevation, a metal street bench, and a trashcan.

Garden City



Figure B106: West oblique of the Garden City Post Office (Haylee Rose, 2025).



Figure B105: Front elevation of the Garden City Post Office (Haylee Rose, 2025).

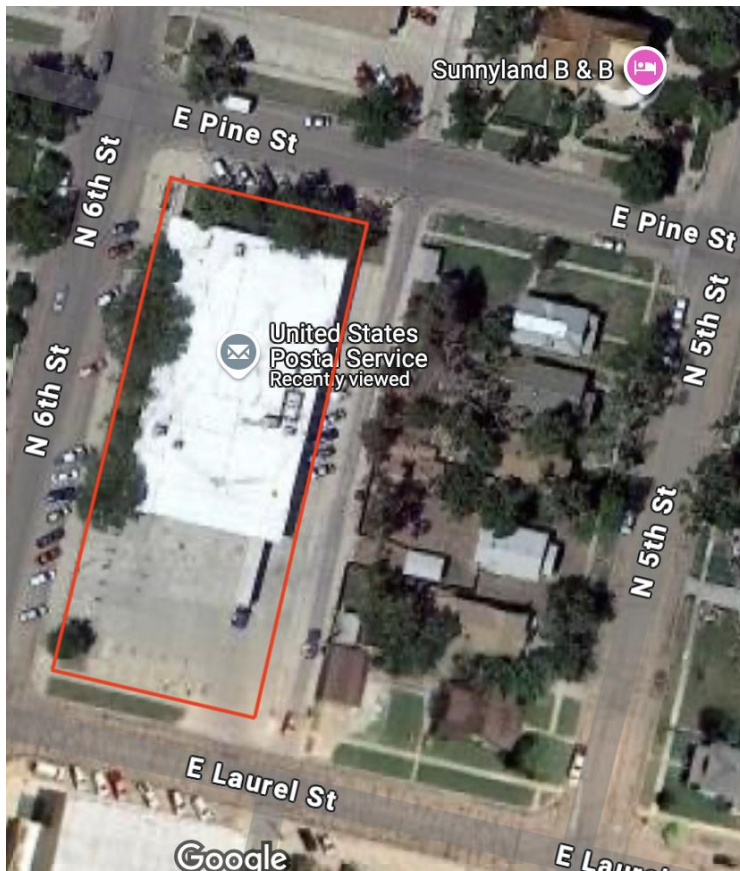


Figure B109: Aerial image of the Garden City Post Office located on a corner lot taking up half a mixed-use commercial and residential block (Google Maps, 2024).

The Garden City Post Office is a one-story freestanding building located on a corner lot in Garden City, population 28,151. The post office has street parking in front of the post office, a front lot, and a rear lot for employees and mail vehicles. The post office has two loading docks. The combination of these factors indicates the lot is type 'B' from *Building Designs*. The surrounding environment is comprised of historic and contemporary commercial and residential architecture.

Constructed as a process and distribution center in 1962, the Garden Post Office located in Finney County, Kansas has an asymmetrical façade and long rectangular envelope with a flat roof. When the post office was constructed the population of Garden City was 11,811. The post office has a total square footage of 15,022 and is owned by the USPS. The exterior is clad in a combination of limestone, running bond brick veneer, and concrete panels. The limestone is a random broken coursed ashlar. The windows are aluminum frames picture windows on the front and west facades. Aluminum-hung sash windows are also present.

Landscape features surrounding the post office include a freestanding metal flagpole, a concrete sidewalk on the front, east, and southern elevations, a metal railing on the east side of the front entrance, lawn between the street and the sidewalk, and many shade trees on the front and eastern elevations.

Manhattan



Figure B110: Front elevation of the Manhattan Post Office (Haylee Rose, 2025).



Figure B111: West oblique of the Manhattan Post Office (Haylee Rose, 2025).

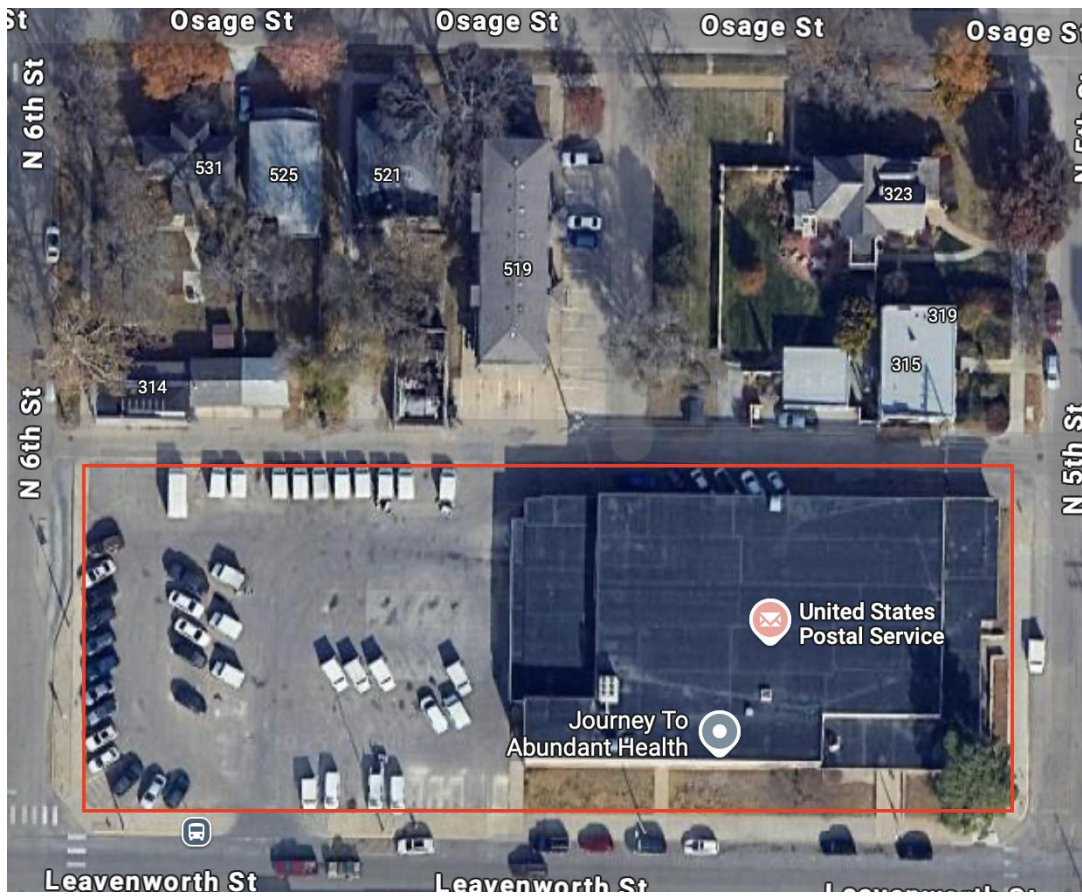


Figure B112: Aerial image of the Manhattan Post Office located on half of a mixed-use commercial and residential block (Google Maps, 2024).

The Manhattan Post Office is a one-story freestanding building located on a corner lot in Manhattan, population 54,100. The post office has street parking on the east elevation and a rear lot for employees and mail vehicles. The post office has two loading docks. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is comprised of historic and contemporary residential architecture with a school across the street from the southern elevation.

Constructed as a process and distribution center in 1965, the Manhattan Post Office located in Riley County, Kansas has an asymmetrical façade and long rectangular envelope with a flat roof. When the post office was constructed the population of Manhattan was 37,737. The post office has a total square footage of 22,251 and is owned by the USPS. The exterior is clad in a combination of limestone, running bond brick veneer, and concrete panels. The limestone is a random broken coursed ashlar. The windows are aluminum frames picture windows on the front and west facades. Aluminum-hung sash windows are also present.

Landscape features surrounding the post office include a freestanding metal flagpole, a concrete sidewalk on the front, east, and southern elevations, a metal railing on the east side of the front entrance, lawn between the street and the sidewalk, and many shade trees on the front and eastern elevations.

Lawrence (Downtown Station)



Figure B113: Aerial image of the Lawrence (Downtown Station) Post Office located on half of a commercial block on a side street of downtown (Google Maps, 2024).



Figure B114: Front elevation of the Lawrence (Downtown Station) (Haylee Rose, 2024).



Figure B113: East oblique of the Lawrence (Downtown Station) Post Office (Haylee Rose, 2024).

The Lawrence, Downtown Station is a freestanding main post office on a corner lot on a side street of downtown Lawrence, population 94,934. The post office has a dedicated front parking lot on the west side of the front elevation with nine spaces and metered parallel parking immediately in front in the entrance. Excess metered parking is available on the east elevation. The post office has a private side lot on the west elevation for postal vehicles and a rear lot for employee parking and deliveries. The post office has one visible bay for loading and unloading. A chain link fence surrounds the rear elevation. The combination of these factors indicates the lot is type 'C' from *Building Designs*. The surrounding environment is a mix of contemporary and historic institutional and commercial architecture.

Constructed as a process and distribution center in 1965, the Lawrence Downtown Station Post Office in Lawrence, Douglas County has an asymmetrical facade and an irregular envelope with a flat roof. The post office itself has a rectangular massing and an 'L' shaped covered parking structure on the west elevation. The total square footage of the post office is 32,305 square feet. When the post office was constructed the population of Lawrence was 23,351. The downtown Lawrence Post office is currently owned by the USPS. The foundation and front entrance are constructed with blond brick in a running bond pattern. The primary exterior material is an unknown proprietary building system with aluminum framing. The windows are aluminum picture windows, and the post office has two entrances on the front and east elevation, both doors are aluminum push/pull doors. Noteworthy features include decorative geometric paneling, with circle and cross motif, over the main entrance with two vertical rows of protruding brick headers to the left of the entrance. A modern post office logo can be found on the top eastern corner of the front elevation. An exterior dedication plaque reads "This

Building/Dedicated to/ Public Service/ 1965/ Lyndon B Johnson/ President of the United States/
John A Gronouski/ Postmaster General”.

The site conditions include sidewalks on the front and eastern elevations with parking meters, a freestanding flagpole, and a metal railing on the west side of the front entrance. A drive-through mail lane is present behind the post office. The front and eastern elevations are heavily planted with trees and shrubs.

Olathe

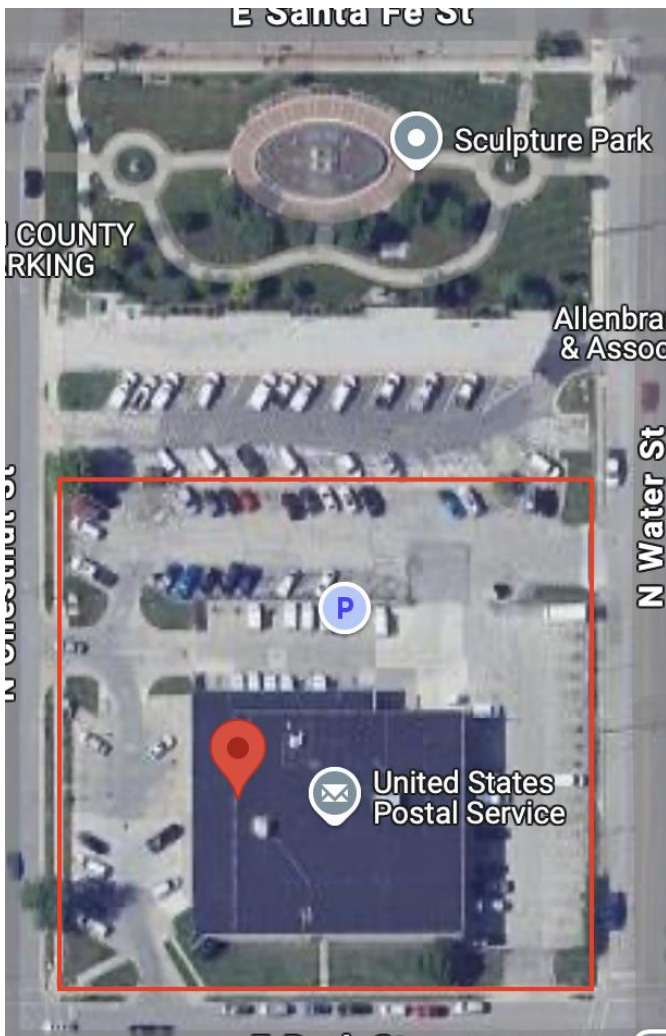


Figure B114: Aerial image of the Olathe Post Office located on half of a commercial block with a recreational sculpture park (Google Maps, 2024).



Figure B115: Front elevation of the Olathe Post Office (Haylee Rose, 2024).

The Olathe Post Office is a one-story freestanding building located on a corner lot in Olathe, population 141,290. The post office has a front lot for patrons and a west lot for employees and mail vehicles. The post office has four loading docks. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of contemporary commercial architecture. The post office shares the block with a contemporary sculpture garden.

Constructed as a process and distribution center in 1981, the Olathe Post Office located in Johnson County, Kansas has an asymmetrical façade and square envelope with a flat roof. When the post office was constructed the population of Olathe was 37,258. The post office has a total square footage of 13,152 and is owned by the USPS. The exterior is clad in concrete paneling and blue corrugated metal sheeting. The corrugated sheet metal makes an abstracted rectangular design across the front façade which is not seen in any other post offices surveyed. The windows are aluminum picture windows.

Landscape features surrounding the post office include a freestanding metal flagpole, streetlights, a concrete sidewalk on the front elevations and lawn on the eastern elevation.

Kansas City



Figure B116: East oblique of the Kansas City Post Office (Haylee Rose, 2024).



Figure B117: Front elevation of the Kansas City Post Office (Haylee Rose, 2024).

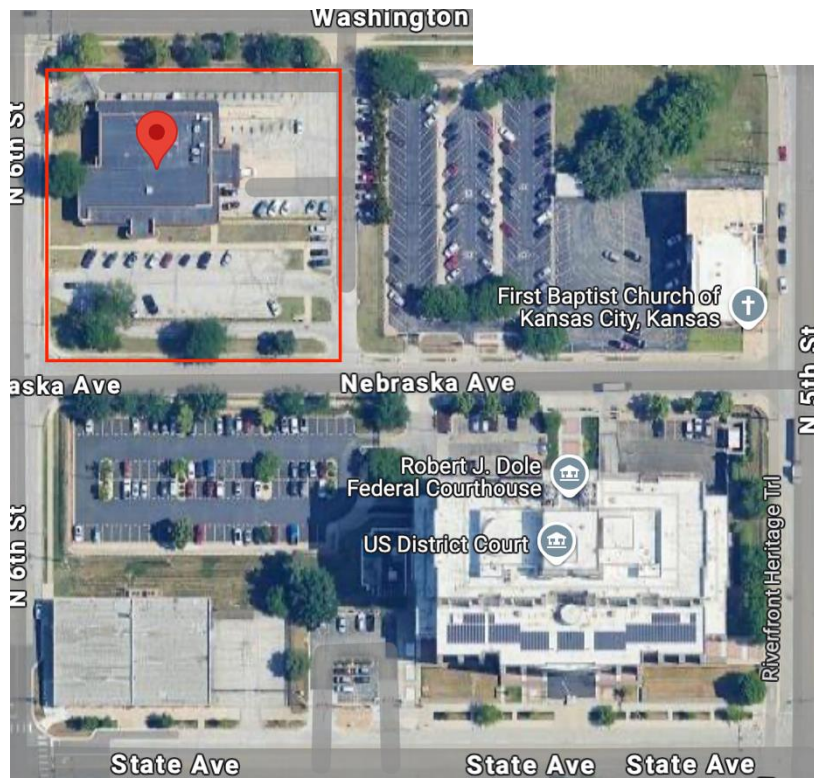


Figure B118: Aerial image of the Kansas City Post Office on a corner lot in a mixed-use commercial and government/institutional block (Google Maps, 2024).

The Kansas City Post Office is a freestanding main post office on a corner lot in Kansas City, Kansas. The post office has a dedicated front parking lot with a private side lot on the west elevation for postal vehicles and employee parking. The post office has at least two loading docks visible from the right of way. A masonry retaining wall with a metal gate prevents most of the west and south elevations from being surveyed. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of federal architecture.

Constructed as process and distribution center in 1987, the Kansas City Post Office in Wyandotte County, has an asymmetrical facade and a square envelope with a flat roof. The total square footage of the post office is 12,442 square feet. When the post office was constructed the population of Kansas City was 161,087. The Kansas City Post office is currently owned by the USPS. The exterior is clad in a stucco with a corrugated burnt orange metal sheeting which is used to create cantilevers. The windows are aluminum picture windows.

The site conditions include sidewalks on the front and eastern elevations, a freestanding metal flagpole, metal streetlights, and lawn and shade trees on the front and eastern elevations.

Wichita (downtown)



Figure B119: Front elevation of the Wichita Downtown Station Post Office (Haylee Rose, 2024).



Figure B120: East oblique of the Wichita Downtown Station (Haylee Rose, 2024)

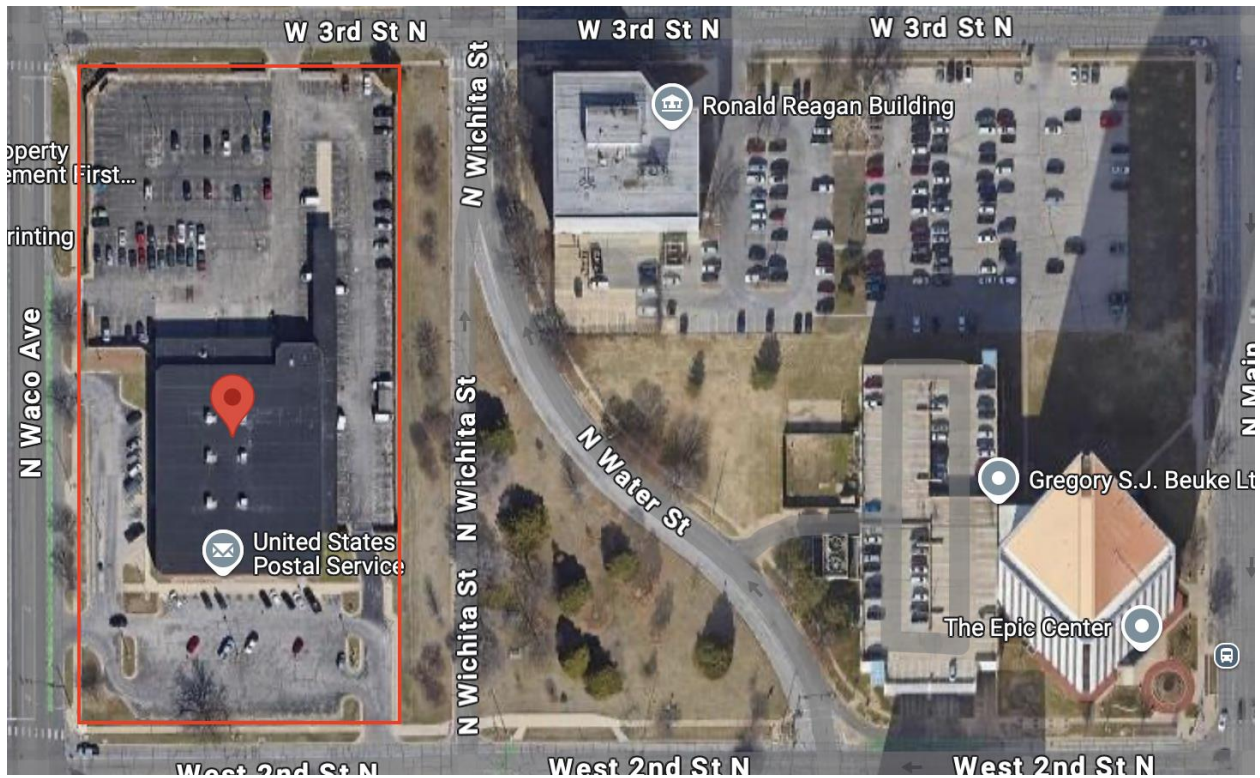


Figure B121: Aerial image of the Wichita Downtown Post Office on a corner lot in a mixed-use commercial and government/institutional block (Google Maps, 2024).

The Wichita Downtown Post Office is a freestanding main post office on a corner lot in downtown Wichita, population 397,532. The post office has parking on all four elevations. The front and east elevations is parking for postal patrons with a drive-through mail drop-off. The parking on the south and western elevations are for employees and postal vehicles. The post office has at least one visible bay. A chain link fence surrounds the west and south elevations. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is a mix of contemporary institutional and commercial architecture.

Constructed as a process and distribution center in 1990, the Wichita Downtown Station Post Office in Sedgwick County has an asymmetrical facade and rectangular envelope with a flat roof. The total square footage of the post office is 26,886 square feet. When the post office was constructed the population of Wichita was 304,017. The post office is currently owned by the USPS. The exterior is clad in a running bond brick veneer with concrete columns and a recessed entrance. The bricks are dark red square bricks. The windows are aluminum picture windows.

Site conditions include lawn, wayfinding signage, chain link fence, shade trees, a freestanding metal flagpole, and concrete sidewalks.

Wichita (River City)



Figure B122: Front elevation of the Wichita River City Station (Haylee Rose, 2024).



Figure B123: East oblique of the Wichita River City Station (Haylee Rose, 2024).

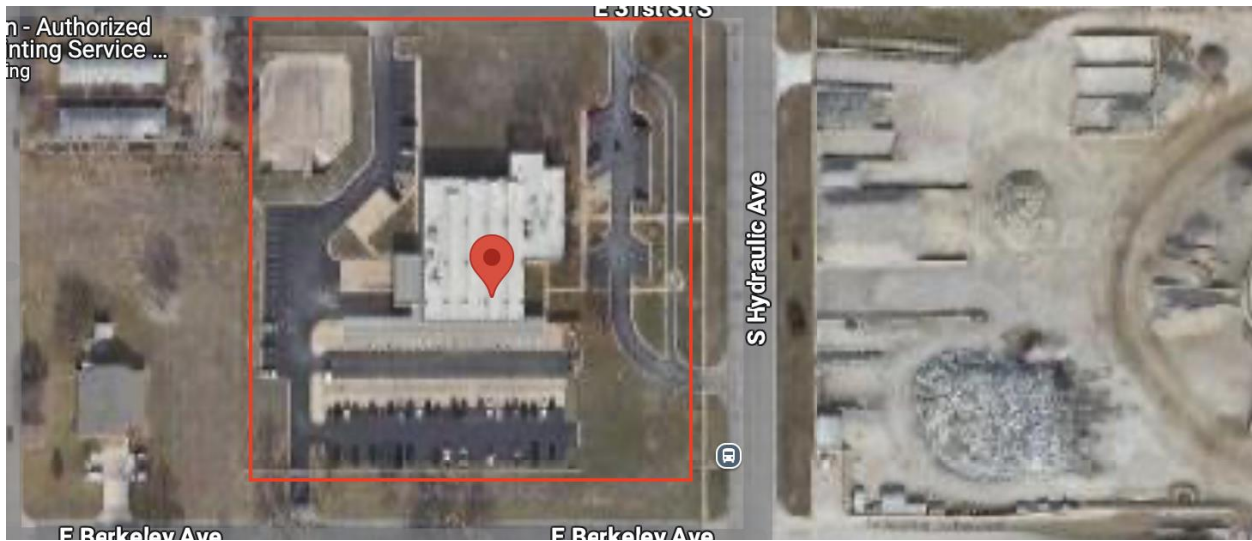


Figure B124: Aerial Image of the Wichita River City Post Office on a corner lot on a mixed-use residential and commercial block across from a quarry (Google Images, 2024).

The Wichita River City Post Office is a freestanding main post office on a corner lot in Wichita, population 397,532. The post office has parking on three elevations. The front elevation is parking for patrons and the east and southern elevations are for employees and postal vehicles. The post office has at least one visible bay. A brick and chain link fence surrounds the west and south elevations. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is a mix of residential architecture and a rock quarry.

Constructed as a process and distribution center in 1992, the Wichita River City Post Office in Sedgwick County has an asymmetrical facade and rectangular envelope with a flat roof. The total square footage of the post office is 17,994 square feet. When the post office was constructed the population of Wichita was 304,017. The post office is currently owned by the USPS. The exterior is clad in a multicolored running bond brick veneer with a blond stacked brick bond surrounding the entrance bay. The windows are aluminum picture windows. The Wichita River City station looks more similar to New Deal post offices than the Thousand Series.

Site conditions include lawn, wayfinding signage, chain link fence, shade trees, a freestanding metal flagpole, and concrete sidewalks.

Olathe East Station



Figure B125: Front elevation of the Olathe East Station (Haylee Rose, 2024).



Figure B126: East Oblique of the Olathe East Station Post office (Haylee Rose, 2024).

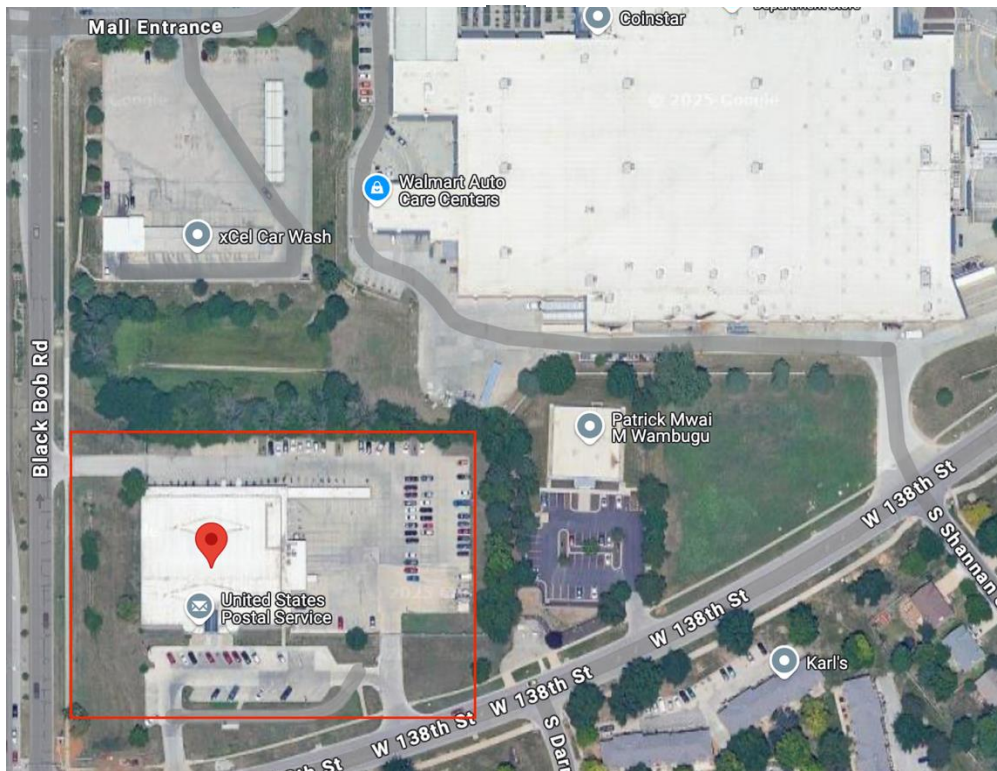


Figure B127: Aerial Image of the Olathe East station post office on the corner of a large commercial block next to a highly frequented intersection (Google Maps, 2024).

The Olathe East Station Post Office is a freestanding main post office on a corner lot in Olathe, population 141,290. The post office has parking on three elevations. The front elevation has patron parking and a drive-through mail drop-off. The east and southern elevations provide parking for postal vehicles and employees. The post office has at least four visible bays. A chain link fence surrounds the west and south elevations. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is comprised of contemporary commercial architecture.

Constructed as a process and distribution center in 1992, the Olathe East Station Post Office in Johnson County has an asymmetrical facade and square eave with a flat roof. The central bay has a decorative front gabled mass made of metal and glass acting as an interior skylight. The total square footage of the post office is 25,649 square feet. When the post office was constructed the population of Olathe was 63,402. The post office is currently owned by the USPS. The exterior is clad in a coursed stone or concrete material. The windows are a combination of fixed aluminum windows and glass block windows.

Site conditions include lawn, wayfinding signage, chain link fence, shade trees, a freestanding metal flagpole, and concrete sidewalks.

Lawrence (Jayhawk Station)



Figure B128: Front elevation of the Lawrence Jayhawk Station Post Office (Haylee Rose, 2024).



Figure B129: Front and east elevation of the Lawrence Jayhawk Station Post Office (Haylee Rose, 2024).



Figure B130: Aerial image of the Lawrence Jayhawk Station Post Office on a central lot of a large commercial block (Google Maps, 2024).

The Lawrence Jayhawk Post Office is a freestanding main post office in a commercial strip mall in Lawrence, population 94,934. The post office has parking on all four elevations. The front elevation is parking for postal patrons with a drive-through mail drop-off. The parking on the southeast and western elevations are for employees and postal vehicles. The post office has at least three visible bays. The combination of these factors indicates the lot is type 'D' from *Building Designs*. The surrounding environment is a mix of contemporary commercial architecture.

Constructed as a process and distribution center in 1996, the Lawrence Jayhawk Post Office in Douglas County has an asymmetrical facade and rectangular envelope with a flat roof. The entrance has a decorative gabled entrance. The total square footage of the post office is 20,538 square feet. When the post office was constructed the population of Lawrence was 65,608. The post office is currently owned by the USPS. The exterior is clad in a combination of grey stone veneer, running bond red brick veneer, cast stone, and corrugated metal. The windows are aluminum framed picture windows.

Site conditions include lawn, wayfinding signage, chain link fence, shade trees, a freestanding metal flagpole, and concrete sidewalks.